

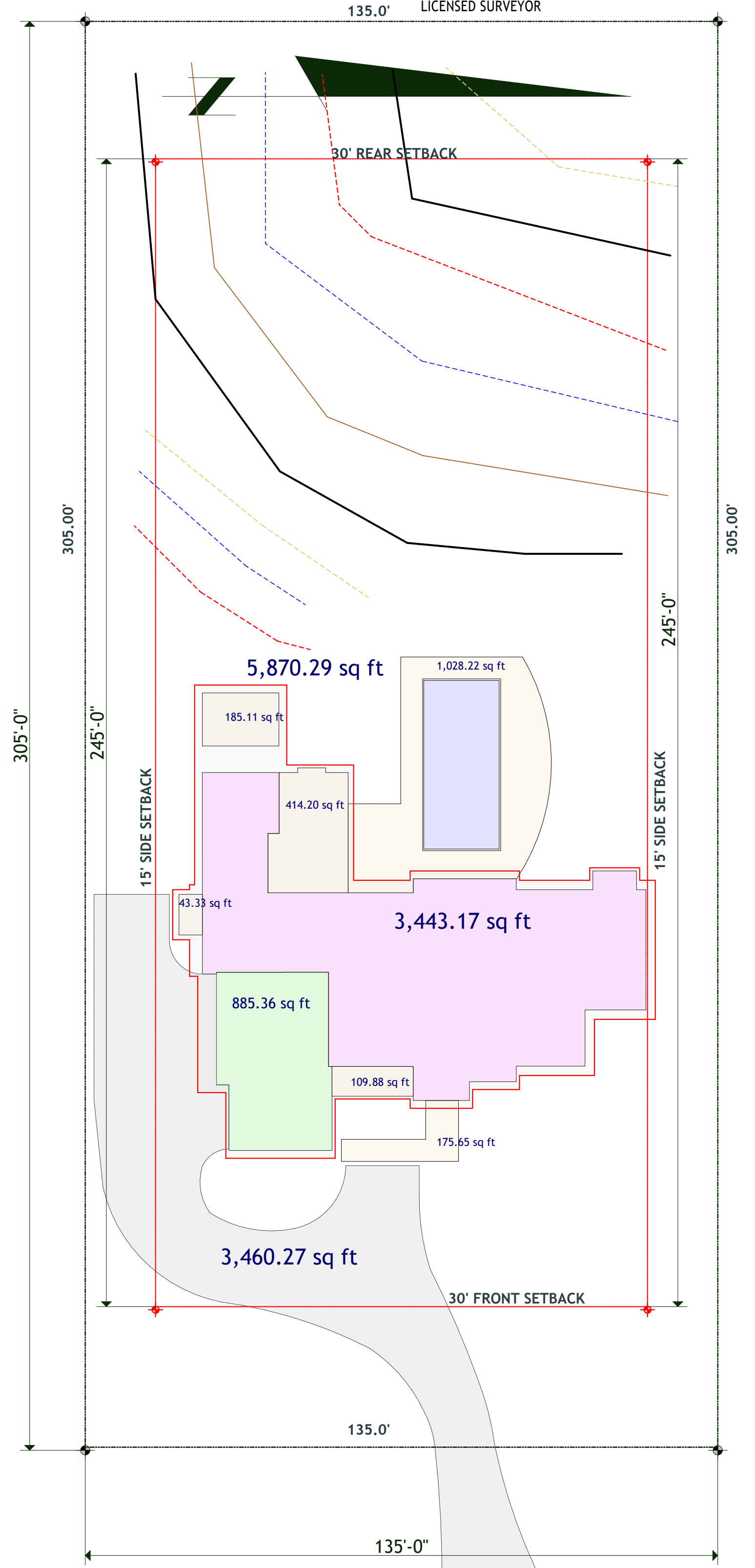
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PLOT SCALE 1"=30'

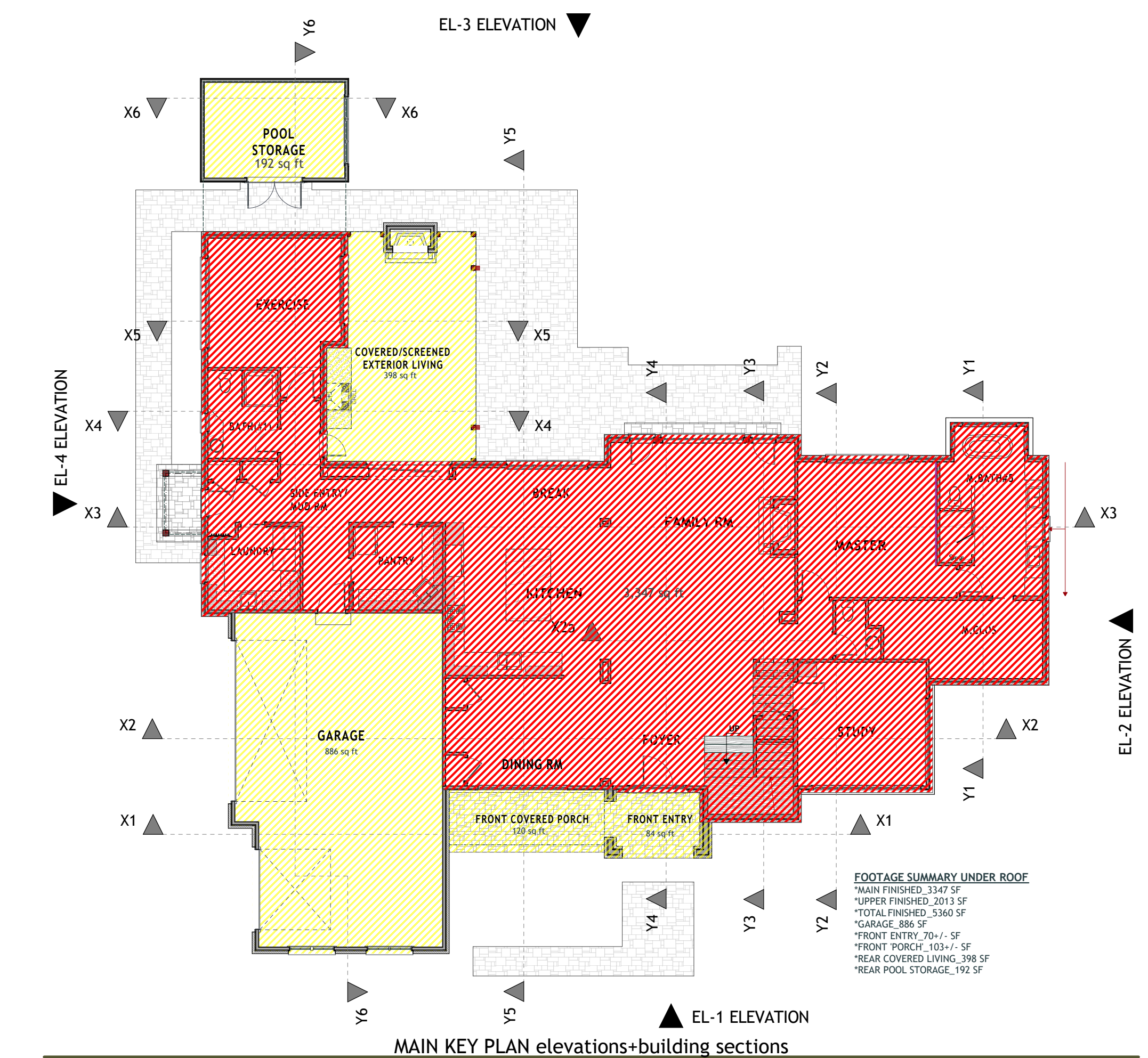
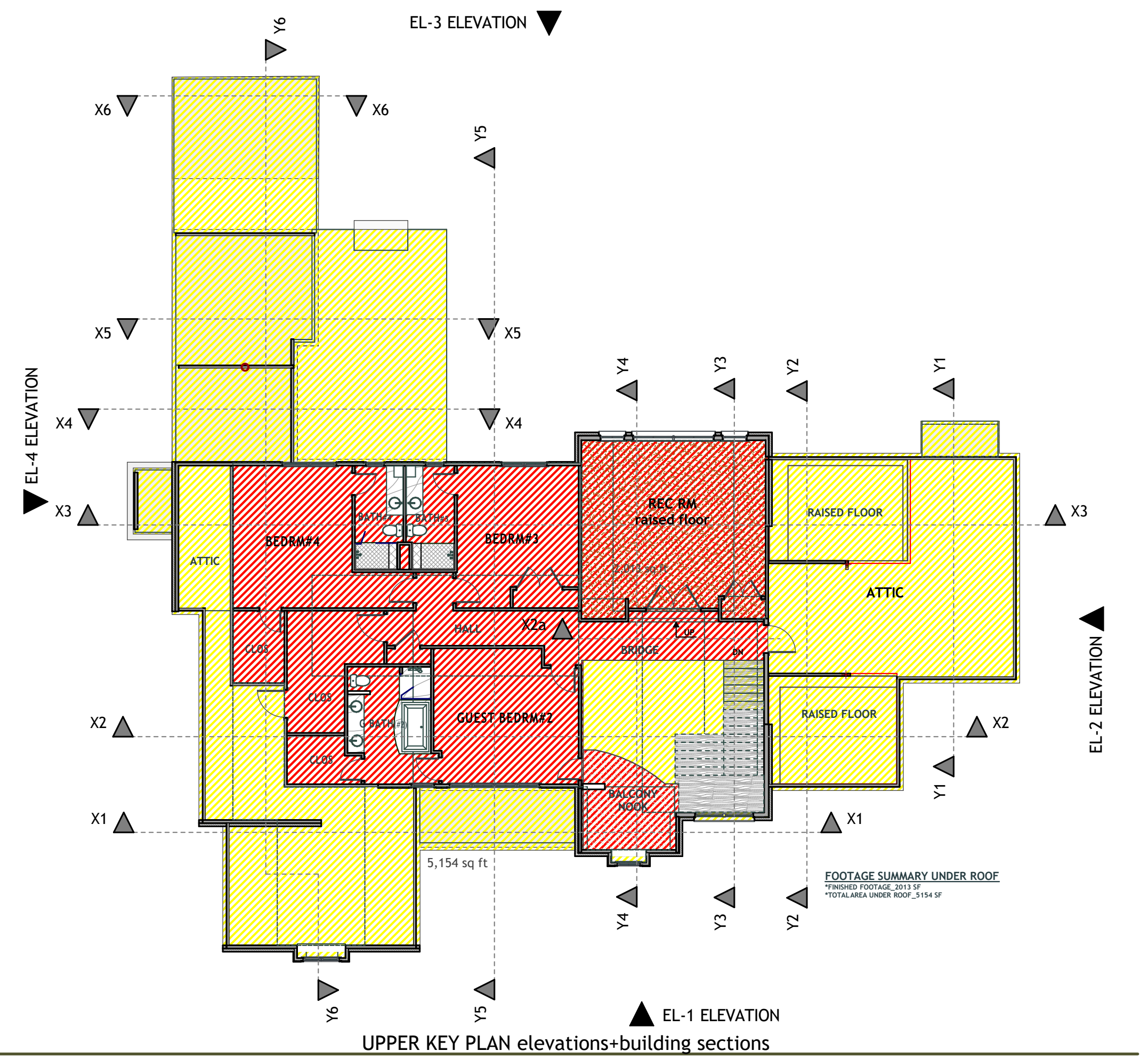
IMPERVIOUS FOOTAGE SUMMARY

*TOTAL LOT AREA	41,175 SF
*HOUSE (ROOF) FOOTPRINT	5,870 SF
*DRIVEWAY	3,460 SF
*DEDICATED TOTAL	9330 SF
*ALLOWED MAX	14,000 SF
*AVAILABLE	4,670 SF
*FRONT WALKS	TBD SF
*REAR DECK/PATIO	TBD SF
*FUTURE PATIO AT GRADE	TBD SF
*TOTAL	TBD SF

SURVEY DATA
 FROM SURVEY BY CAWTHORNE, MOSS & PANCIERA P.C.
 DATED JAN 30, 2020
ZONING
 R-40W
ADDRESS
 *LOT, SUBDIVISION
 STREET
 TOWNSHIP
 COUNTY
THIS DESIGN DATA BY:
 STEPHEN CLUGGISH, ARCHITECT
 DATED APR 1, 2021
NOTE:
 APPROVAL SITE PLANS WITH IMPERVIOUS
 DATAMAY NEED TO BE SUBMITTED BY A
 LICENSED SURVEYOR



SITE footprint positioning and impervious summary 1" = 20'



CONSTRUCTION+ENGINEERING
BASED CODE COMPLIANCE
 *BELOW ARE GENERIC REQUIREMENTS THAT MAY EFFECT BUILDING DECISIONS. EXCEPTING INSULATION ANY REQUIREMENTS ARE INCORPORATED INTO THE PROJECT'S DRAWINGS.
 *INSULATION (R VALUE BY COMPONENT) MINIMUMS ARE NOTED BELOW. INSULATION STRATEGIES, AND METHODS OF CALCULATING CODE COMPLIANCE ARE MANY, AND ARE NOT SPECIFIED THESE DRAWINGS. CONSULT BUILDER AND INSULATING SUBCONTRACTOR FOR BEST PROJECT SOLUTION.

BUILDING PLANNING SUMMARY
R301 PROJECT SPECIFIC DESIGN CRITERIA
PROJECT: CUSTOM RESIDENCE
LOCATION: WAKE CO
MISC:
 *DESIGN DEPARTURE (R301.2(1)CC 18 deg F
 *SEISMIC CATAGORY(R301.2(1)CC B
 *FROST LINE DEPTH 12"
 *SNOW LOAD (R301.2(5) 20/15/10 PSF
 *NON SNOW MIN ROOF LIVE LOAD 20 PSF
 *WEATHERING DESIGN CATAGORY MODERATE
 *TERMITE DESIGN CATAGORY (R301.2(6) MODERATE TO HEAVY
 *DECAY DESIGN CATAGORY R301.2(7) SLIGHT TO MODERATE
 *SOIL CATAGORIES (R401.4.1) (ASSUMED) CI, ML,MH,CH
 *PRESUMPTIVE SOIL BEARING 2000 PSF
WIND:
 *DESIGN PRESSURE RATING FOR WINDOWS & DOORS (R301.2(4) DP25
 *DESIGN WIND SPEED (ULTIMATE) 115 MPH
 *WIND EXPOSURE CATAGORY (R301.2.1.4) B
 *MAXIMUM MEAN ROOF HT 28.00/ FT
 *EXPOSURE ADJUSTMENT COEFFICIENT (R301.2(2) 1.00

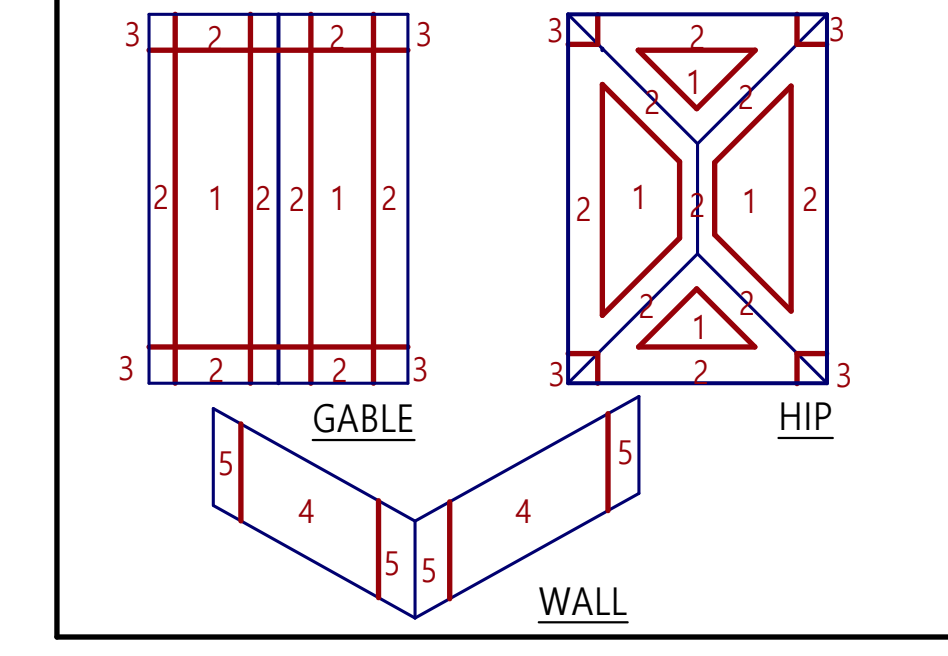
ENERGY COMPLIANCE
 MINIMUM INSULATION REQUIREMENTS BY COMPONENT PER TABLE 402.1.2 (R1102.1.2) AS REQUIRED BY THE 2018 NORTH CAROLINA ENERGY CONSERVATION CODE.

THIS PROJECT IN ZONE 4
COMPONENT
 *FENESTRATION U-FACTOR MAX_0.35
 *SKYLIGHT U-FACTOR MAX_0.55
 *GLAZED FENESTRATION SHGC MAX_0.30
 *CEILING R VALUE MIN_R-38 OR R-30 CONTINUOUS
 *WOOD FRAME WALL MIN_R-15 or (R-13+2.5)
 *FLOOR OVER UNCONDITIONED SPACE MIN_R-19
 *BASEMENT WALL CONTINUOUS MIN_R-10 or
 *BASEMENT WALL CAVITY(STUDS) MIN_R-15
 *SLAB_R-10
 *CRAWL SPACE CONTINUOUS MIN_R-10 or
 *CRAWL SPACE CAVITY(STUDS) MIN_R-15

COMPONENT & CLADDING REQUIREMENTS

*ADJUSTED PER CODE COEFFICIENT AND MAX MEAN ROOF HT(TABLE R301.2(2))
 *VALUES ARE BASED ON 10 SF EFFECTIVE WIND AREA AND MAX MEAN ROOF HT AND THEREFORE REPRESENT MAXIMUM LOADING CONDITION

EXPOSURE ZONE	DESIGN PRESSURE	UPLIFT FORCE
ROOF ZONE 1	13.1 PSF	-14.0 PSF
ROOF ZONE 2	13.1 PSF	-16.0 PSF
ROOF ZONE 3	13.1 PSF	-16.0PSF
WALL ZONE 4	14.3 PSF	-15.0 PSF
WALL ZONE 5	14.3 PSF	-19.0 PSF



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 residentialARCHITECT.pro
828.450.7431

BUILDER:
KJ CONSTRUCTION INC
STEVEN KJELLBERG 919-422-8611
GENERAL & COMPLIANCE NOTES

***CODE REFERENCE** ALL WORK IN THIS PROJECT IS GOVERNED BY THE 2018 NORTH CAROLINA RESIDENTIAL CODE AMD 2018 NORTH CAROLINA ENERGY CODE.
 ***COMPLIANCE RESPONSIBILITY** ALL CONTRACTORS ARE RESPONSIBLE FOR ALL CODES GOVERNING THEIR WORK AS WELL AS ALL ATTENDING PERMITS, FEES, AND INSPECTIONS.
 ***DRAWING COMPLETENESS** CONSTRUCTION DOCUMENTS CANNOT AND DO NOT PRETEND TO INCLUDE ALL CODE COMPLIANCE DATA OR TO ADDRESS ALL CONSTRUCTION CONDITIONS. THEY ARE ACCURATE GUIDELINES AT BEST AND RELY ON APPLICABLE CODE MANUALS AND THE PROFESSIONAL PRACTICES AND BEHAVIOR OF THE LICENSED BUILDERS AND SUBCONTRACTORS.
 ***COORDINATION** CLARIFICATIONS, DEVIATIONS, MORE SPECIFIC INFORMATION, OR ADDITIONAL DRAWINGS ARE LIKELY. TIMELINESS IN SEEKING THAT DATA IS THE RESPONSIBILITY OF THE CONTRACTOR(S). A TIMELY RESPONSE CAN BE EXPECTED FROM THE ARCHITECT.
 ***DRAWING ACCURACY** THESE DRAWING ARE DERIVED FROM A COMPUTER MODEL AND ARE DRAWN WITH A 1/2" TOLERANCE. THIS RESULTS IN A TYPICALLY VERY ACCURATE SET OF DRAWINGS. IF DIMENSIONS ARE FOLLOWED THE CONSTRUCTION WILL "CLOSE" EXACTLY AS THE COMPUTER MODEL DOES. THIS INCLUDES ALL ROOF PLANES.
 ***DIMENSIONAL DEVIATIONS** IF CONSTRUCTION DEVIATES FROM THE DRAWING IN ANY SPECIFIC LOCATION THEN THE POSSIBILITY OF DIMENSIONAL INACCURACY IN OTHER LOCATIONS IS DEFINITELY OPENED UP. IF CEILING HTS, OR FLOOR THICKNESSES, OR PLATE AND KNEE WALL HTS DIFFER FROM THE ASSUMED CONDITIONS IN THE DRAWINGS THEN THE CONTRACTOR MUST ANTICIPATE HOW/IF THEY MAY EFFECT OTHER CONDITIONS. THE ARCHITECT IS AVAILABLE TO HELP ANALYZE ANY SUCH DEVIATION/POTENTIAL PROBLEM. TYPICAL SPECIFIC PROBLEM AREAS THAT MAY BE EFFECTED IN THES INSTANCES ARE STAIRS AND WINDOWS (HTS/HEADS/SILLS/EGRESS), AND THE CLOSING OF ROOF PLANES.
 ***SITE AND SOIL** THESE DRAWING ARE PRODUCED WITHOUT SPECIFIC KNOWLEDGE OF THE SITE AND SITE SOIL CONDITIONS. THE ASSUMED BEARING VALUE OF THE SOIL IS 2000 PSF AND THE SOIL CONDITION IS ASSUMED DRY AND CONSISTENT. ANY DEVIATION FROM THIS ASSUMPTION NEEDS TO BE COMMUNICATED OR ADDRESSED PRIOR TO ANY FOOTING INSTALLATION.
 ***CONSTRUCTION PRODUCT SELECTIONS & RESPONSIBILITIES** GENERAL CONSTRUCTION PRODUCTS AND SPECIFICATIONS ON THESE DRAWINGS ARE TYPICALLY GENERIC. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR SPECIFIC PRODUCT SELECTIONS, INSTALLATION, WARRANTY ETC.
 ***CONSTRUCTION & CONTRACT ADMINISTRATION** THE ARCHITECT HAS NOT BEEN ENGAGED FOR NOR IS RESPONSIBLE FOR ANY SITE, CONSTRUCTION, OR CONTACT ADMINISTRATION OR SUPERVISION.
 ***USE OF DRAWINGS** THESE CUSTOM DRAWINGS ARE THE PROPERTY OF THE OWNER AND ARCHITECT AND ARE FOR USE ON THIS SPECIFIC PROJECT ONLY. ANY OTHER USE OF THESE DRAWINGS IS A VIOLATION OF COMMON COPYRIGHT LAW AND IS ILLEGAL.

- LIST of DRAWINGS**
CONSTRUCTION SET
 C.1_CONSTR compliances, key plans, site
 C.2_CONSTR foundation plan
 C.3_CONSTR main level walls+dimensions
 C.4_CONSTR main level framing
 C.5_CONSTR upper level walls+dimensions
 C.6_CONSTR upper level framing
 C.7_CONSTR roof level layout
 C.8_CONSTR roof level framing
 C.9_CONSTR elevations
 C.10_CONSTR elevations
 C.11_CONSTR key plan+building sections
 C.12_CONSTR building sections
 C.13_CONSTR building sections
 C.14_CONSTR wall sections+bracing plans

- SUBMISSIONS:**
1. PRELIMINARY DESIGN SET_3/24/2021
 2. DESIGN DEVELOPMENT SET_4/23/2021
 3. PERMIT & CONSTRUCTION SET_5/10/2021
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 5. REVISION

PROJECT:
CUSTOM RESIDENCE
STREET ADDRESS
SUBDIVISION
 RALEIGH, NC 27614



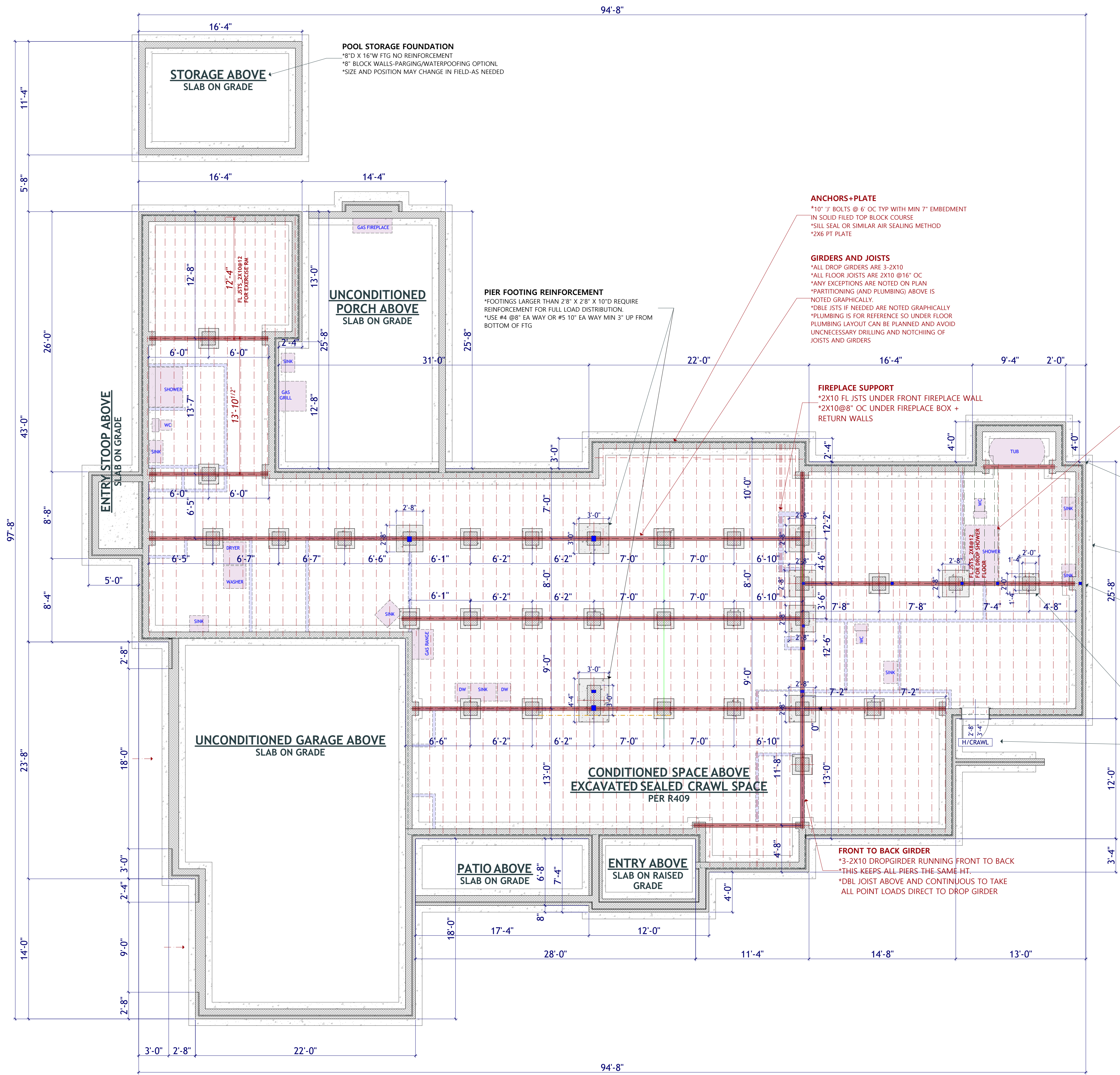
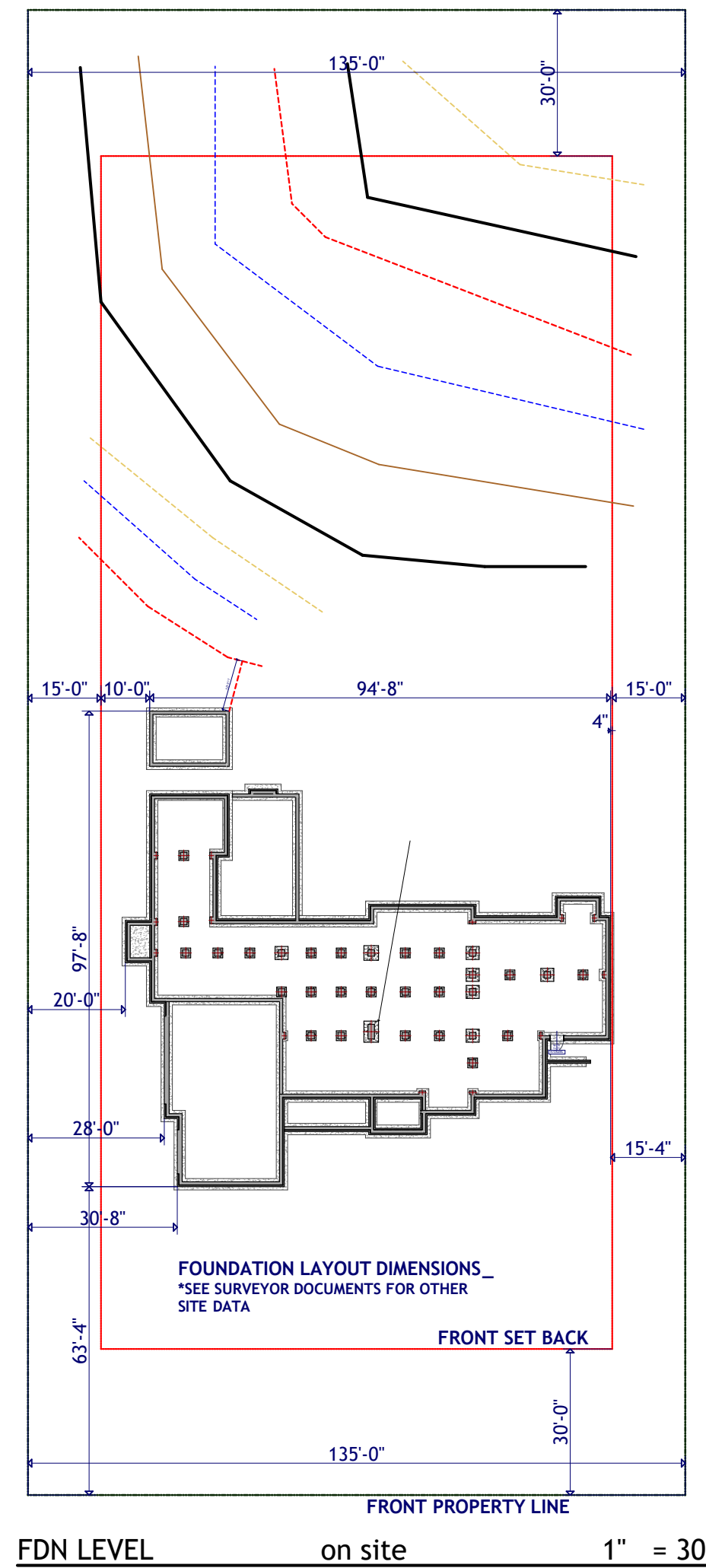
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BUILDER:
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 STEVEN KJELLBERG 919-422-8611

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PROJECT:
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STREET ADDRESS/SUBDIVISION
 RALEIGH, NC 27614

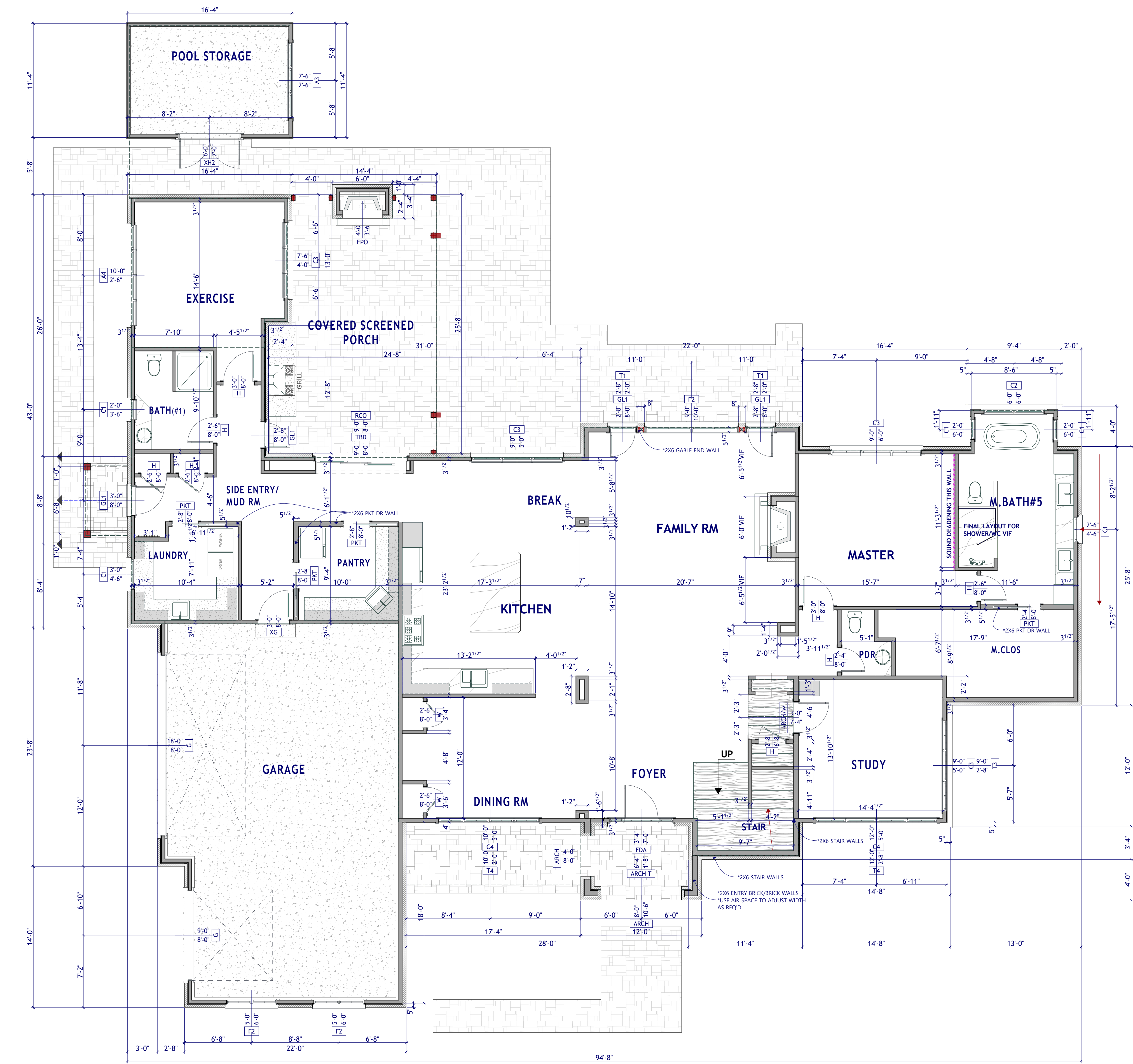
SHEET:
C.2



FDN LEVEL

construction plan

3/16" = 1'-0"



GENERAL CONSTRUCTION NOTES

*DIMENSIONS/EXTERIOR TO FACE OF BRICK OR EXTERIOR FRAMING MEMBERS AS EVIDENT ON PLAN. 5" ALLOWANCE FROM FACE OF BRICK TO FACE OF EXTERIOR STUDS. IF THAT ALLOWANCE CHANGES ALL RUNNING DIMENSIONS WILL BE AFFECTED. MAKE ADJUSTMENTS AS REQUIRED.

*DIMENSIONS/INTERIOR TO FACE OF FRAMING MEMBERS.

*FRAME WALLS/HEIGHT 10" NOMINAL 10-1 1/4" ACTUAL WITH PRECUT STUDS. 1 BOTTOM PLATE AND 2 TOP PLATES.

*FRAME WALLS/EXTERIOR CONSTRUCTION 2X4 16" CENTERS OSB EXTERIOR SHEATHING. 2X6 FRAME WALLS WHERE REQUIRED ARE NOTED ON PLAN.

*FRAME WALLS/INTERIOR CONSTRUCTION 2X4 CENTERS AS SELECTED WITH 1/2" GWB (OR AS SELECTED) FINISH MATERIAL EACH SIDE.

*DOORS/SYMBOLS LISTED IN BOX EACH DOOR LOCATION PER BELOW LEGEND THIS PROJECT:

FDA FRONT DOOR ASSEMBLY AS SELECTED
 ARCH T ARCHED TRANSOM (MULLED TO FDA)
 SDA SIDE DOOR ASSEMBLY AS SELECTED
 TBD SLIDING DOOR ASSEMBLY AS SELECTED
 GL1 GLASS HINGED PATIO DOOR
 G GARAGE OVERHEAD DOOR
 XG GARAGE TO HOUSE CODE COMPLIANT HINGE DOOR
 XH2 EXTERIOR UTILITY HINGED PAIR
 H HINGED DOOR
 H2 HINGED PAIR
 W WINE DISPLAY DOOR TBD
 PKT POCKET DOOR
 ARCH/W CUSTOM GLASS DOOR TO STUDY

*DOORS-SIZES, DOOR PANEL WIDTH OVER DOOR PANEL HT LISTED FOR TYPICAL DOORS. DOOR UNIT WIDTH OVER UNIT HT LISTED FOR PATIO TYPE GLASS DOORS (PER INDUSTRY STANDARDS).

*WINDOW-SYMBOLS LISTED IN BOX EACH DOOR LOCATION PER BELOW LEGEND THIS PROJECT:

C1 SINGLE CASEMENT UNIT
 C2 TWIN CASEMENT UNIT
 C3 TRIPLE CASEMENT UNIT
 C4 QUAD CASEMENT UNIT
 T1 SINGLE TRANSOM UNIT
 T2 TWIN TRANSOM UNIT
 T3 TRIPLE TRANSOM UNIT
 T4 QUAD TRANSOM UNIT
 A3 TRIPLE AWNING
 F2 FIXED UNITS (MULLED OR WITH STRUCTURAL STUD)

*WINDOW-SIZES, WINDOW UNIT WIDTH OVER UNIT HT FOR ALL WINDOWS UNDO.

*EXTERIOR HEAD HEIGHTS SEE ELEVATIONS
 *INTERIOR HEAD HEIGHTS 8" TYP INTERIOR DOOR THIS LEVEL OR AS NOTED

MAIN LEVEL

walls+dimensions

3/16" = 1'-0"

SHEET: PROJECT: CUSTOM RESIDENCE
 STREET ADDRESS/SUBDIVISION RALEIGH, NC 27614

ARCHITECT: STEPHEN CLUGGISH
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 828.450.7431

BUILDER: KJ CONSTRUCTION INC
 STEVEN KJELLBERG 919-422-8611

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 4. REVISION 7/7/2021
 5. REVISION





GENERAL FRAMING NOTES
 LAYOUT SHOWS DIRECTION AND INTENT. FRAMING START POINTS BY FRAMES/BUILDER
 DIMENSIONS AS SHOWN ARE CONVENIENCE DIMENSIONS REPRESENTING APPROXIMATE LUMBER LENGTHS OR SPANS.
 ENGINEERED JOISTS DEPTHS SET ON PLAN. SERIES AND SPACINGS BY MANUFACTURER.

LVL BEAMS
 ALL LVL BEAMS ARE QUANTIFIED BY NO OF PLYS. EACH PLY IS INDUSTRY STANDARD 1 3/4" WIDE.
 110" LVL'S NOTED ON PLAN MAY BE 9.25" OR 9.5" DEPTH
 112" LVL'S NOTED ON PLAN MAY BE 11.25" OR 11.875" DEPTH
 LVL CALC'S BASED ON BOISE CASCADE 2.0E BC Versa Lam 2800

STUD SUPPORTS FOR HEADERS AND BEAMS
 OPENINGS SHOWING 2-2X6 HEADERS REQUIRE 1-JACK AND 1-KING
 OPENINGS SHOWING 2-2X10 HEADERS REQUIRE 1-JACK AND 2-KINGS
 OPENINGS REQUIRING MORE SUBSTANTIAL HEADERS HAVE JACK AND KING REQUIREMENTS ON THE PLANS

MAIN LEVEL

framing

3/16" = 1'-0"

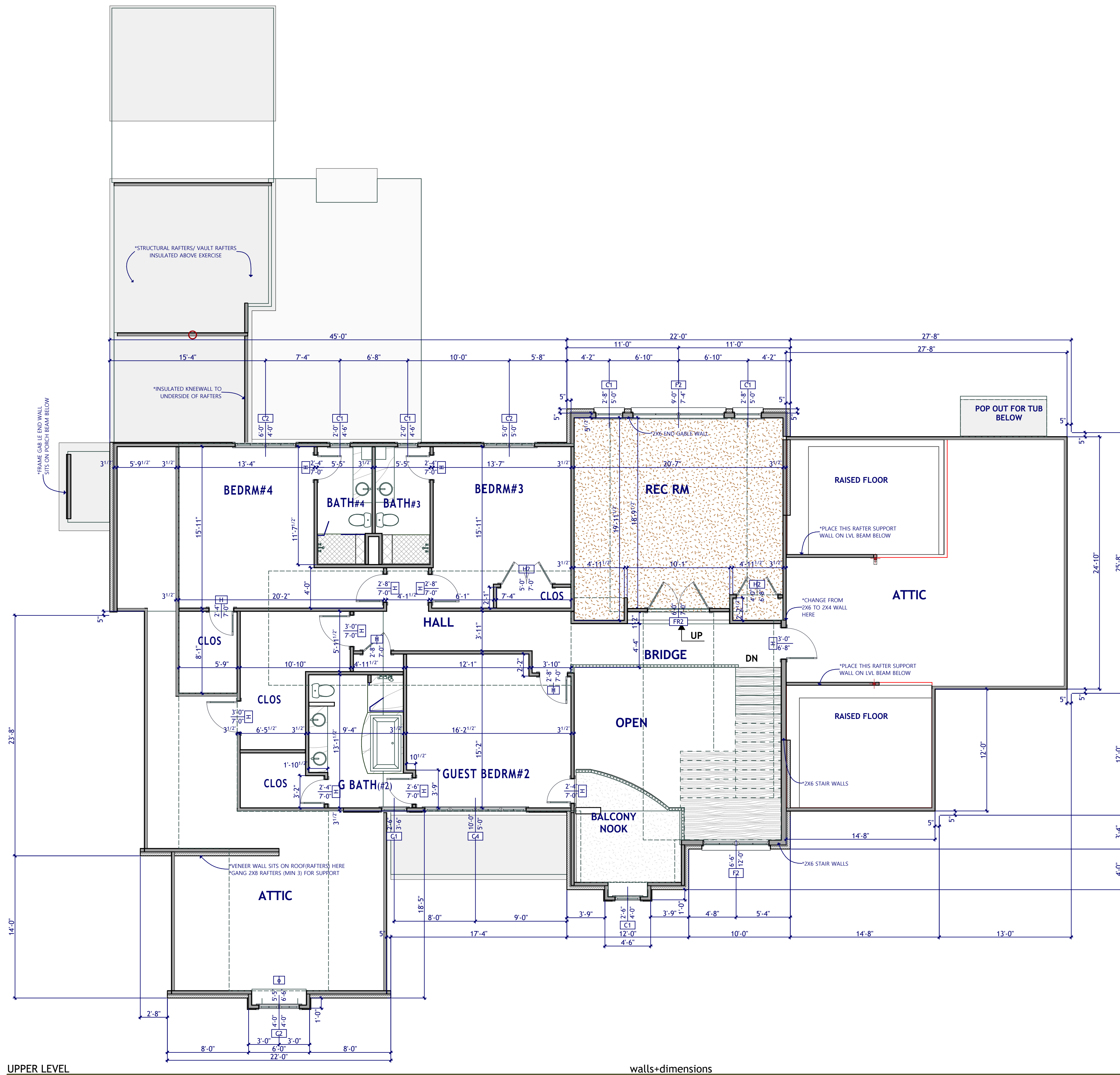
SHEET: PROJECT: CUSTOM RESIDENCE STREET ADDRESS/SUBDIVISION RALEIGH, NC 27614

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C.4



GENERAL CONSTRUCTION NOTES

*DIMENSIONS/EXTERIOR, TO FACE OF BRICK OR EXTERIOR FRAMING MEMBERS AS EVIDENT ON PLAN. 5" ALLOWANCE FROM FACE OF BRICK TO FACE OF EXTERIOR STUDS. IF THAT ALLOWANCE CHANGES ALL RUNNING DIMENSIONS WILL BE AFFECTED. MAKE ADJUSTMENTS AS REQUIRED.

*DIMENSIONS/INTERIOR, TO FACE OF FRAMING MEMBERS.

*FRAME WALLS/HEIGHT 9" NOMINAL, 9'-11" ACTUAL WITH PRECUT STUDS, 1" BOTTOM PLATE AND 2" TOP PLATES.

*FRAME WALLS/EXTERIOR CONSTRUCTION, 2X4 16" CENTERS, OSB EXTERIOR SHEATHING, 2X6 FRAME WALLS WHERE REQUIRED ARE NOTED ON PLAN.

*FRAME WALLS/INTERIOR CONSTRUCTION, 2X4, CENTERS AS SELECTED WITH 1/2" GWB (OR AS SELECTED) FINISH MATERIAL EACH SIDE.

*DOORS/SYMBOLS, LISTED IN BOX EACH DOOR LOCATION PER BELOW LEGEND THIS PROJECT:

H, HINGED DOOR
H2, HINGED PAIR
PKT, POCKET DOOR
ARCH/W, CUSTOM GLASS DOOR TO STUDY

*DOORS-SIZES, DOOR PANEL WIDTH OVER DOOR PANEL HT LISTED FOR TYPICAL DOORS. DOOR UNIT WIDTH OVER UNIT HT LISTED FOR PATIO TYPE GLASS DOORS (PER INDUSTRY STANDARDS).

*WINDOW-SYMBOLS, LISTED IN BOX EACH DOOR LOCATION PER BELOW LEGEND THIS PROJECT:

C1, SINGLE CASEMENT UNIT
C2, TWIN CASEMENT UNIT
C4, QUAD CASEMENT UNIT
F2, FIXED UNITS (MULLED OR WITH STRUCTURAL STUD)

*SEE PLANS FOR STUD NOTE

*WINDOWS-SIZES, WINDOW UNIT WIDTH OVER UNIT HT FOR ALL WINDOWS UNTO.

*EXTERIOR HEAD HEIGHTS, SEE ELEVATIONS

*INTERIOR HEAD HEIGHTS, 7' TYP INTERIOR DOOR THIS LEVEL OR AS NOTED

UPPER LEVEL

walls+dimensions

3/16" = 1'-0"

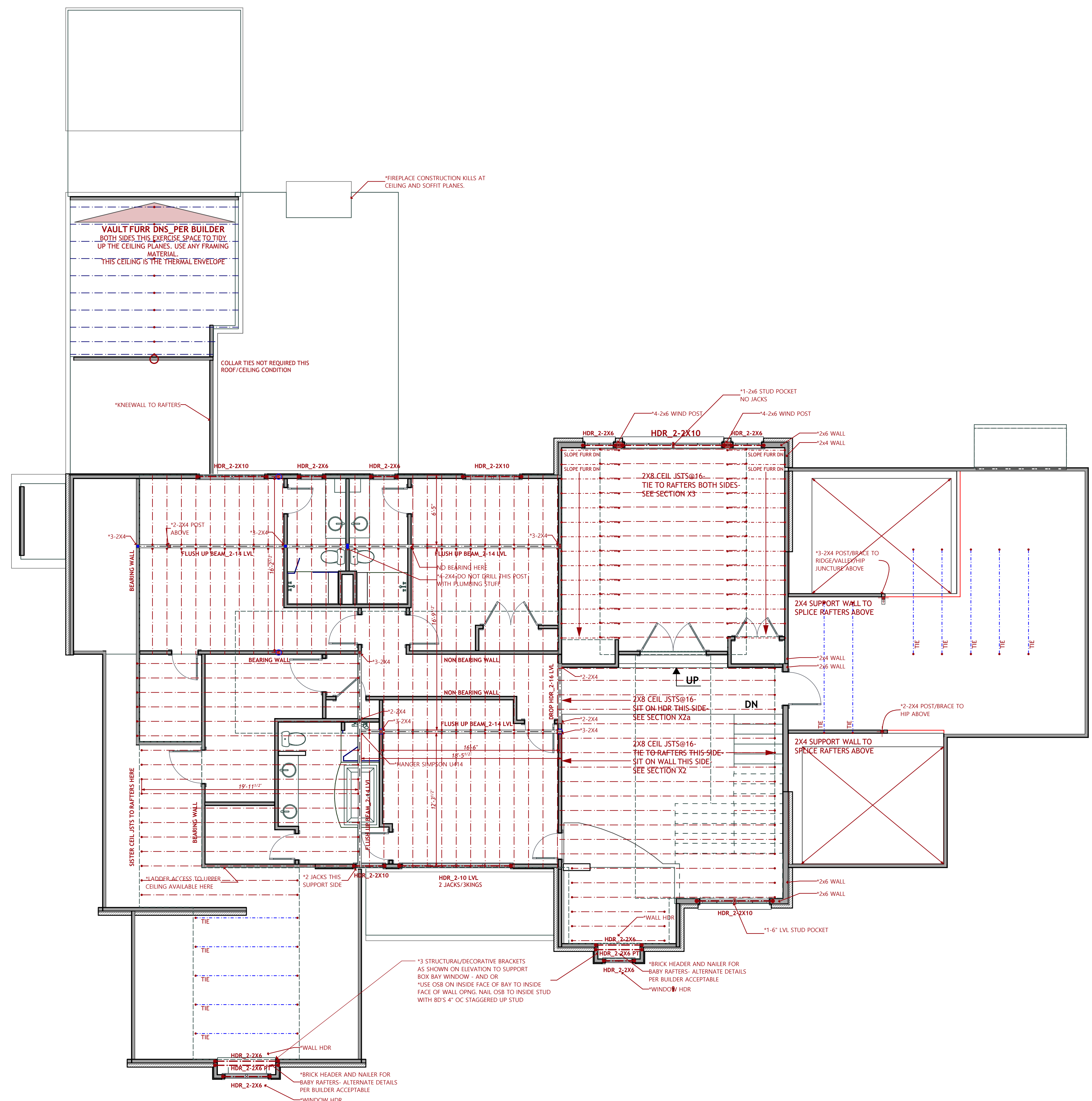
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PROJECT: CUSTOM RESIDENCE
STREET ADDRESS/SUBDIVISION
RALEIGH, NC 27614

SHEET: C.5



UPPER LEVEL

framing

3/16" = 1'-0"

- GENERAL FRAMING NOTES**
- LAYOUT SHOWS DIRECTION AND INTENT. FRAMING START POINT (S) BY FRAMER/BUILDER
 - DIMENSIONS AS SHOWN ARE CONVENIENCE DIMENSIONS FOR
- LVL BEAMS**
- ALL LVL BEAMS ARE QUANTIFIED BY NO OF PLYS. EACH PLY IS INDUSTRY STANDARD 1 3/4" WIDE
- STUD SUPPORTS FOR HEADERS AND BEAMS**
- *OPENINGS SHOWING 2-2X6 HEADERS REQUIRE 1-JACK AND 1-KING
 - *OPENINGS SHOWING 2-2X10 HEADERS REQUIRE 1-JACK AND 2-KINGS
 - *OPENINGS REQUIRING MORE SUBSTANTIAL HEADERS HAVE JACK AND KING REQUIREMENTS ON THE PLANS
- CEIL JSTS/**
- 2X8 @ 16" OC TYPICAL
- TIES/**
- *2X6 @ 32" OC AS SHOWN ON PLANS. 2X4@48" ARE CODE ACCEPTABLE

SHEET: C.6

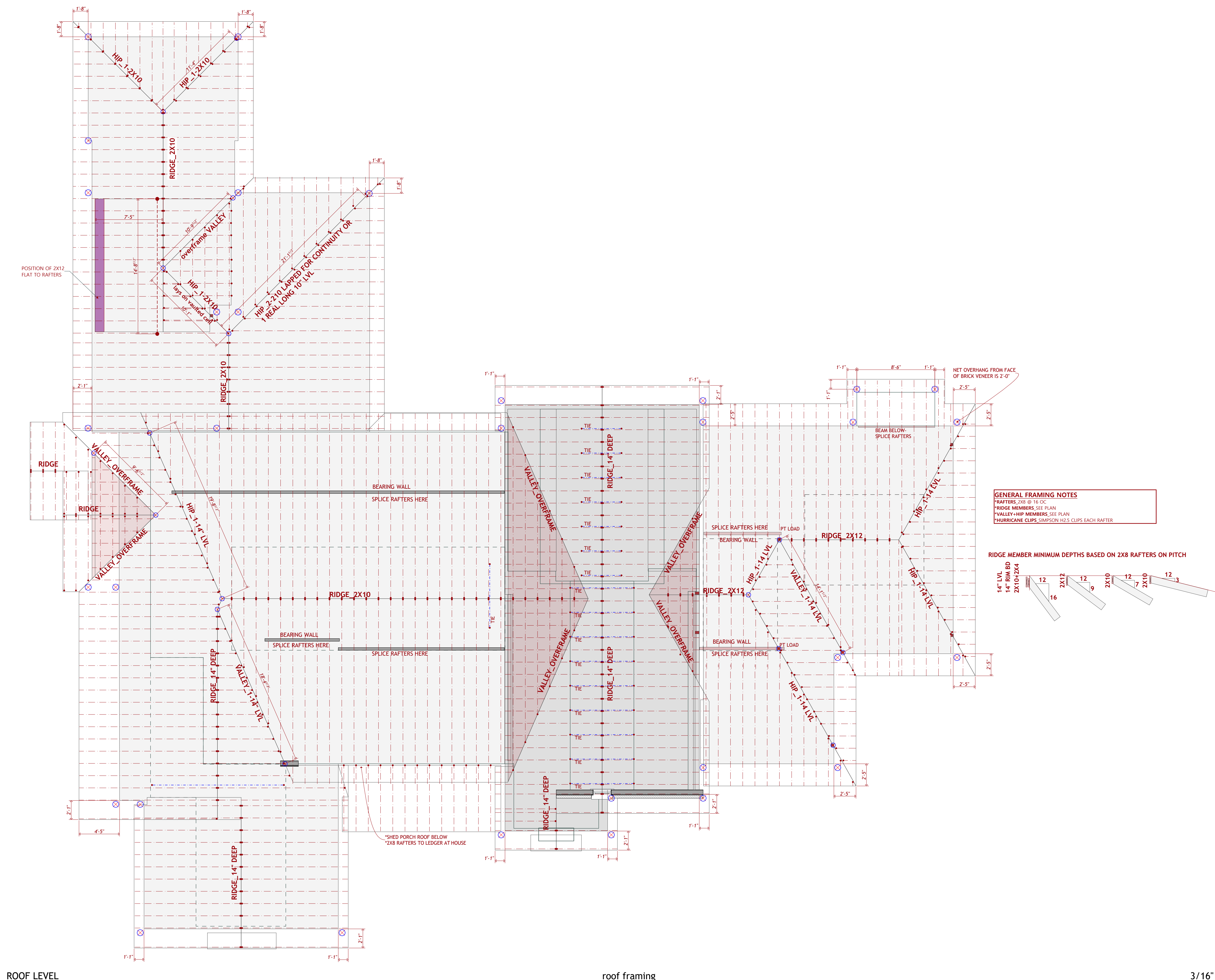
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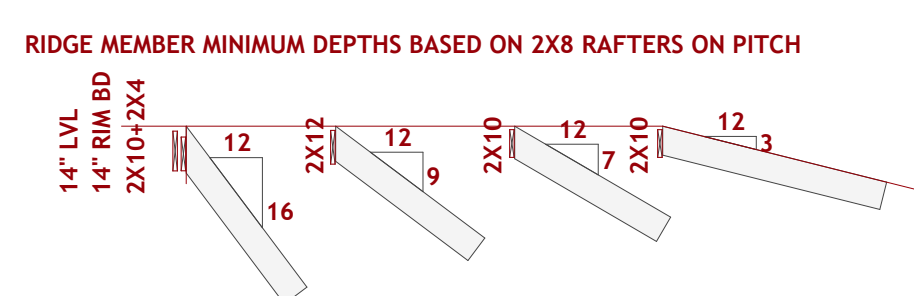
BUILDER: KJ CONSTRUCTION INC
STEVEN KJELLBERG 919-422-8611

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GENERAL FRAMING NOTES
 *RAFTERS 2X8 @ 16 OC
 *RIDGE MEMBERS SEE PLAN
 *VALLEY+HIP MEMBERS SEE PLAN
 *HURRICANE CLIPS SIMPSON H2.5 CLIPS EACH RAFTER



ROOF LEVEL

roof framing

3/16" = 1'-0"

SHEET: PROJECT: CUSTOM RESIDENCE STREET ADDRESS/SUBDIVISION RALEIGH, NC 27614

BUILDER: KJ CONSTRUCTION INC STEVEN KJELLBERG 919-422-8611

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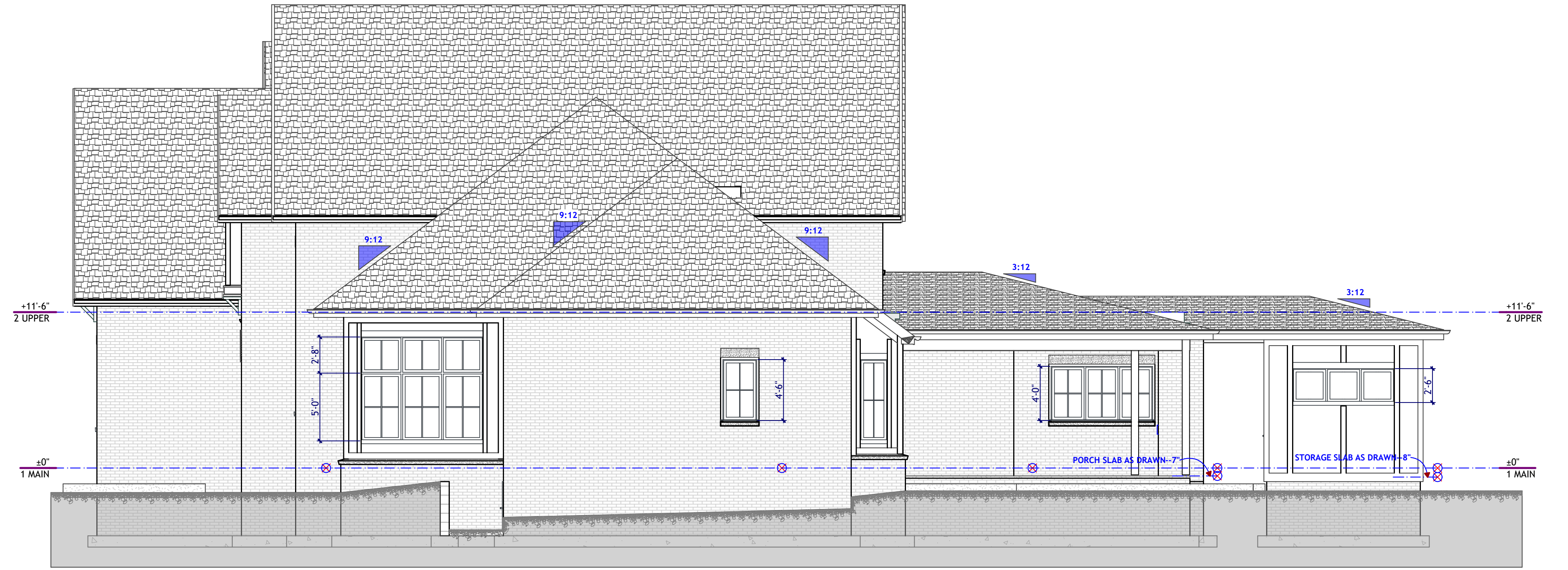
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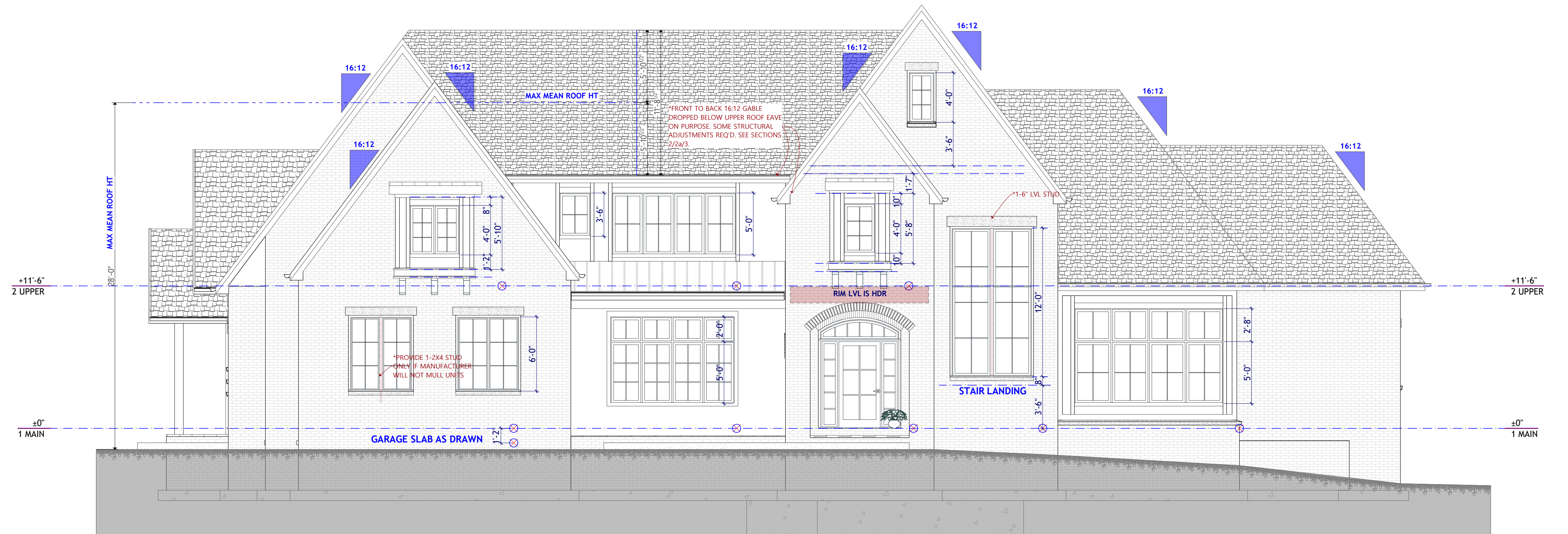
PROJECT:
CUSTOM RESIDENCE
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RALEIGH, NC 27614

SHEET:
C.9



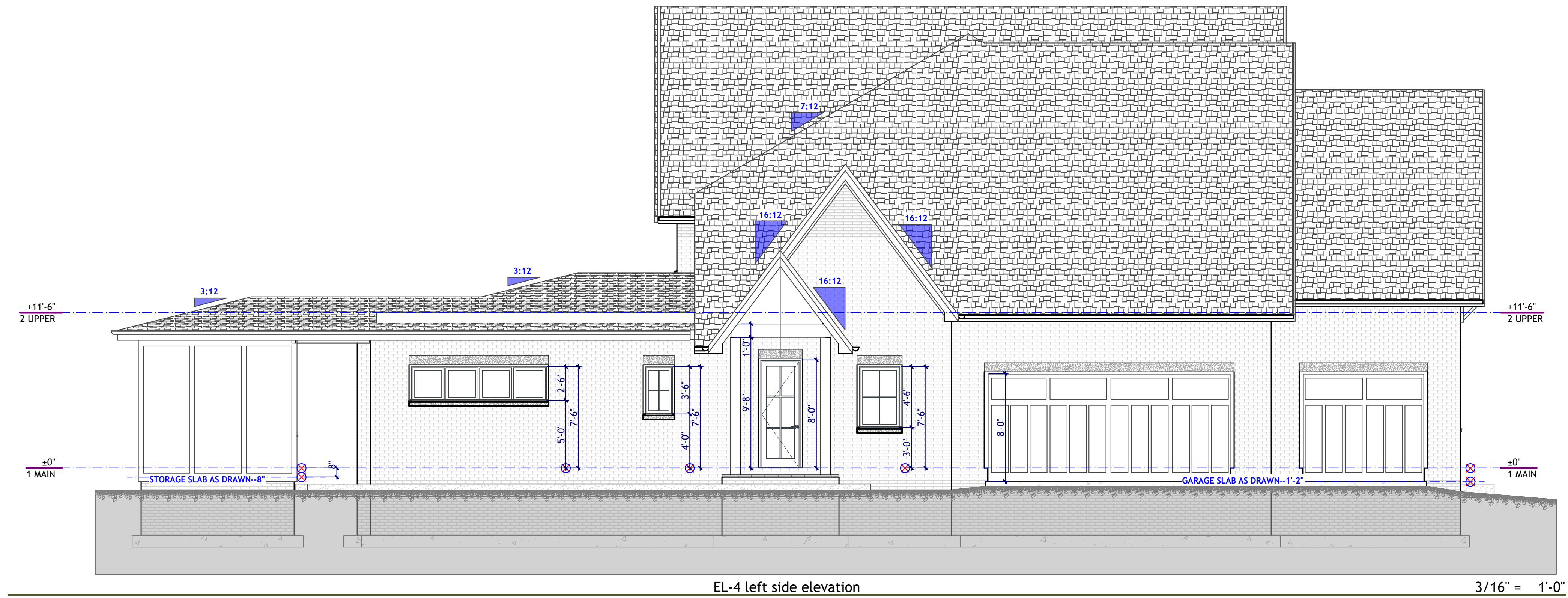
EL-2 right side elevation

3/16" = 1'-0"



EL-1 front elevation

3/16" = 1'-0"



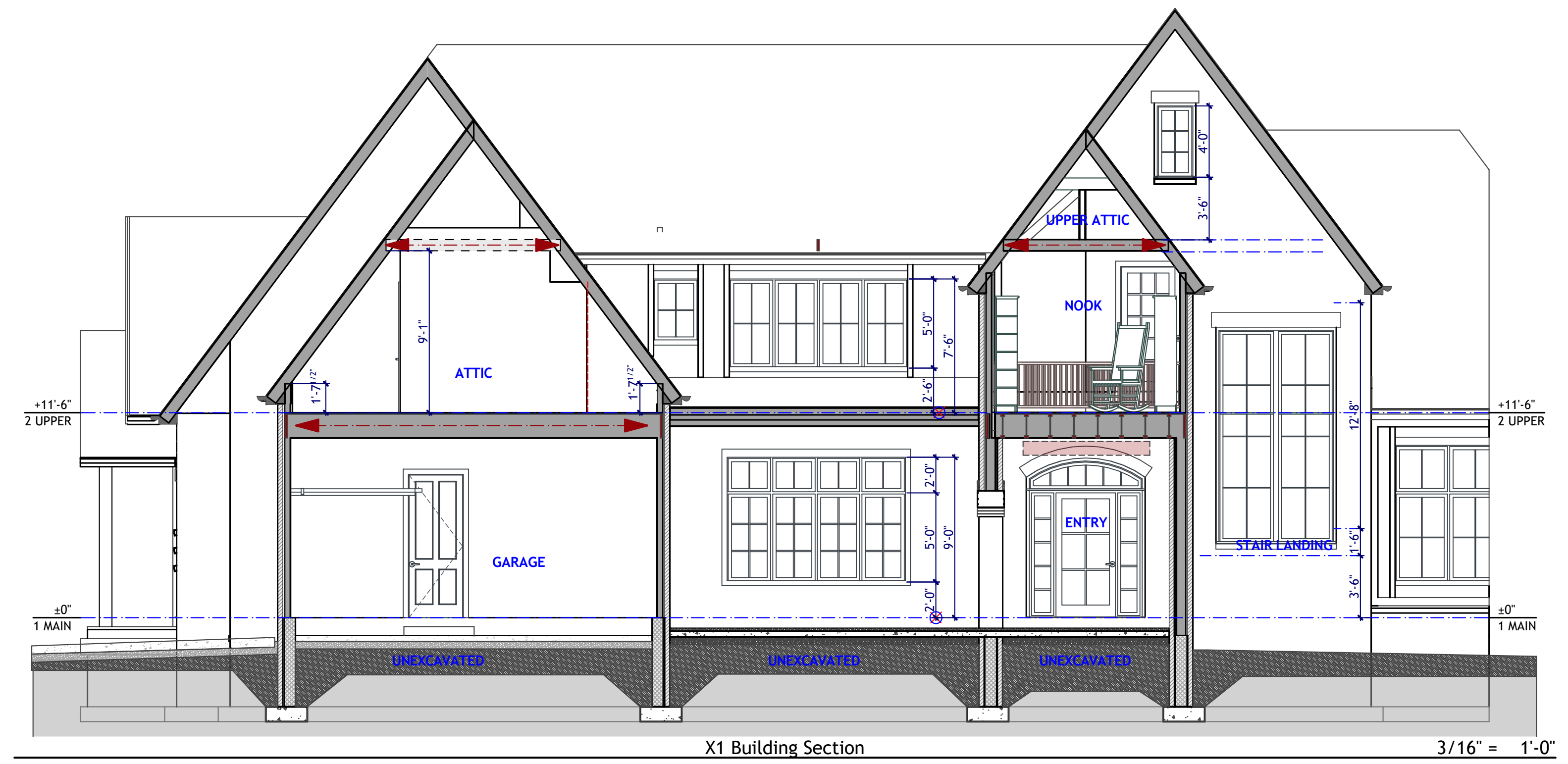
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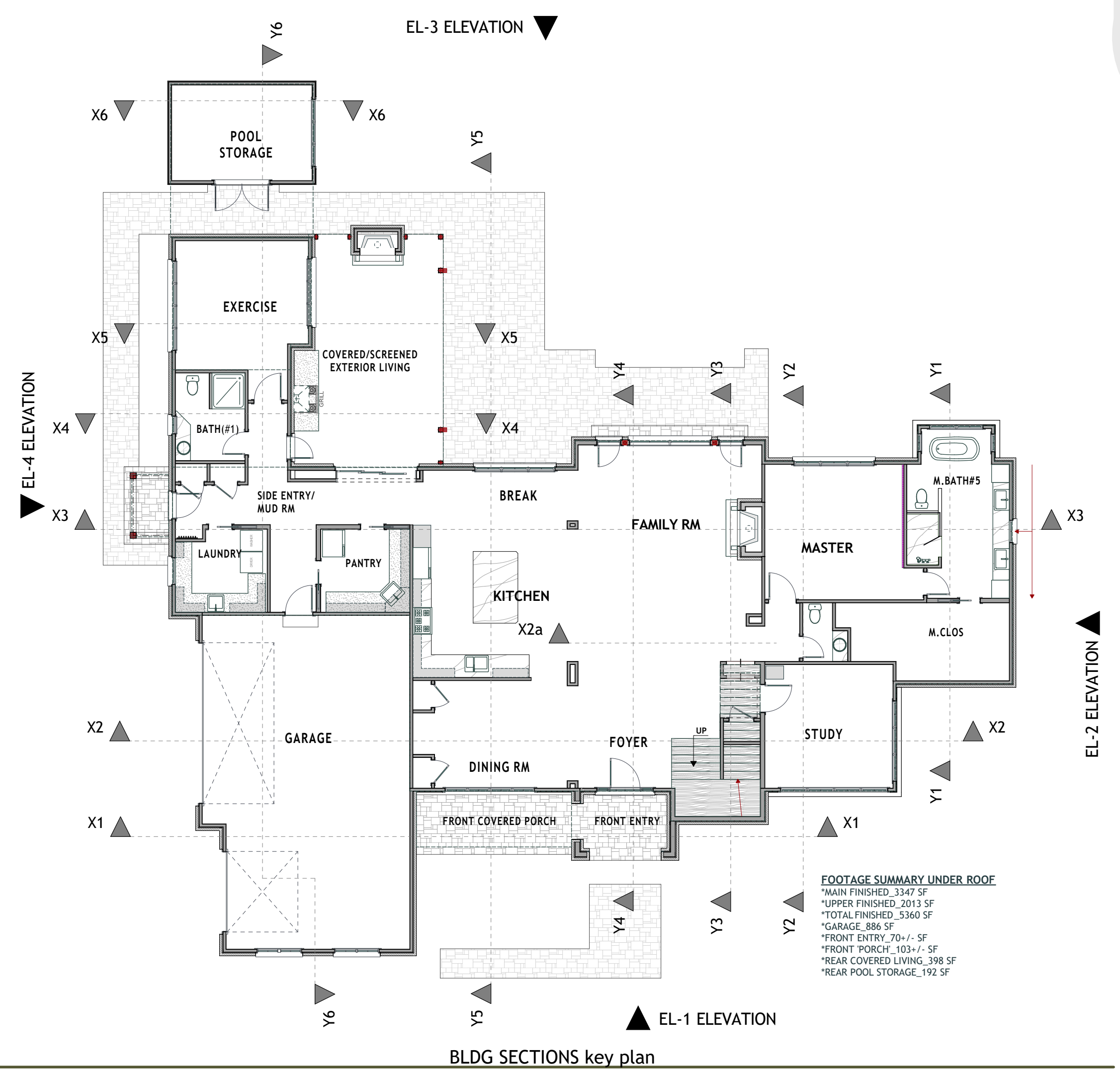
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SHEET:
C.10



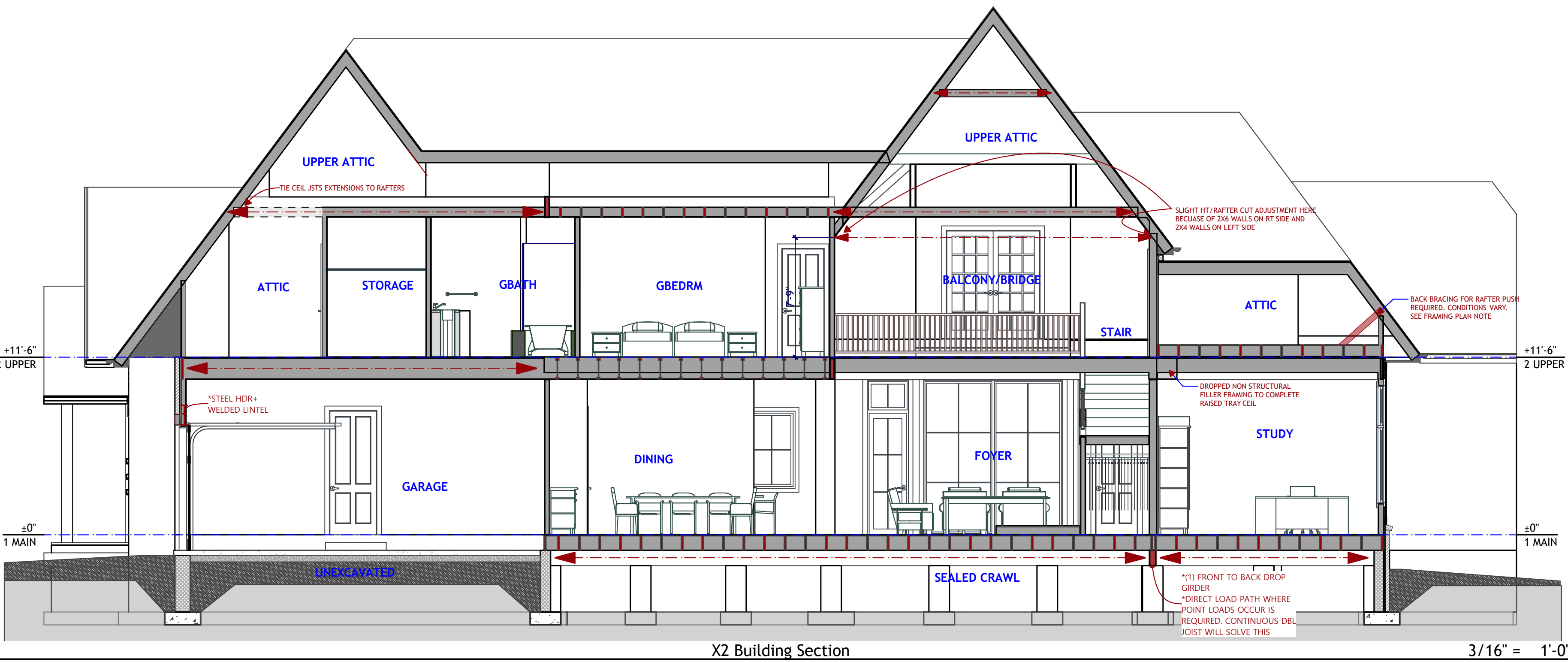
X1 Building Section

3/16" = 1'-0"



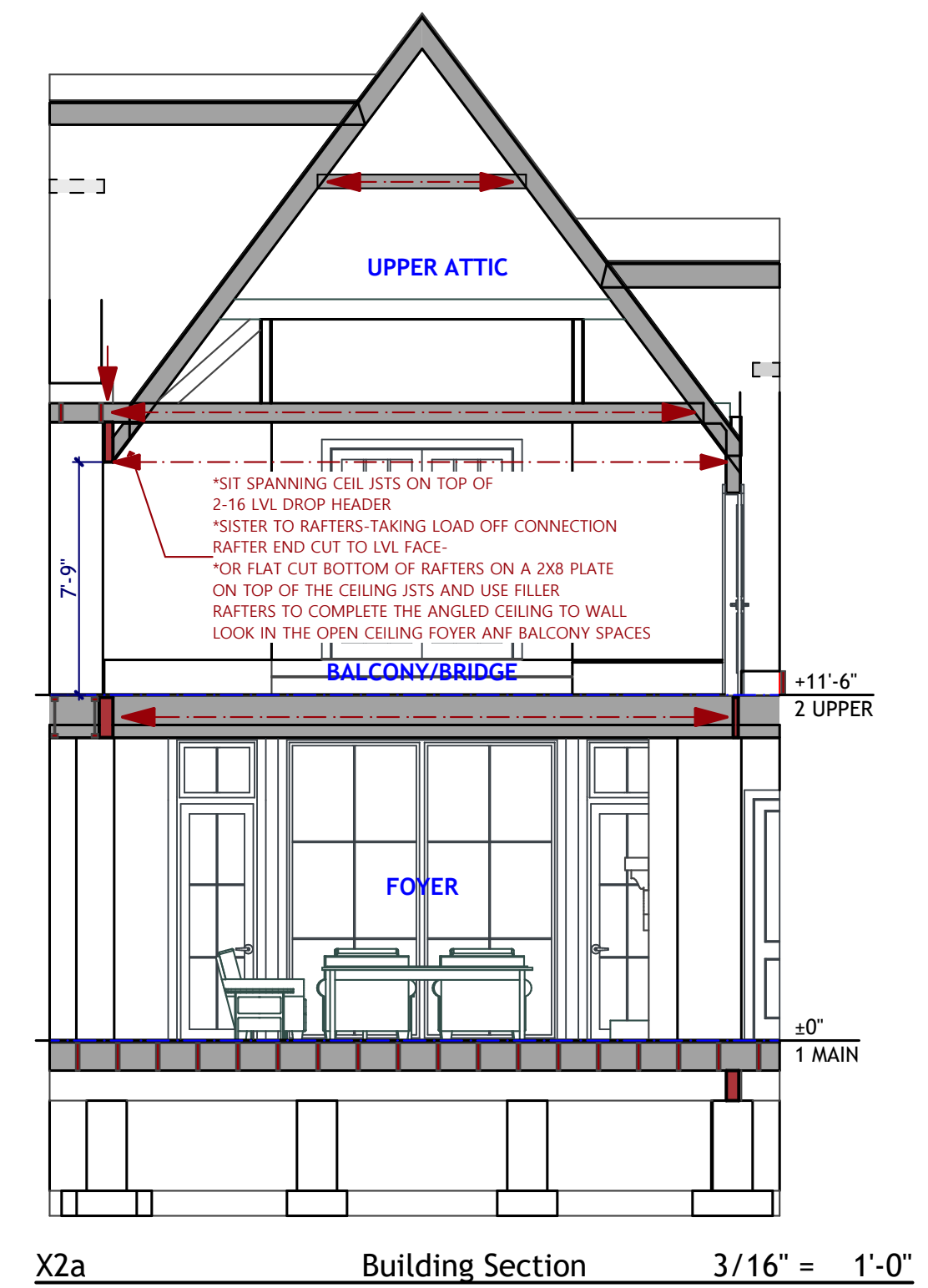
BLDG SECTIONS key plan

FOOTAGE SUMMARY UNDER ROOF
 *MAIN FINISHED_3347 SF
 *UPPER FINISHED_2013 SF
 *TOTAL FINISHED_5360 SF
 *GARAGE_886 SF
 *FRONT ENTRY_70 +/- SF
 *FRONT PORCH_103 +/- SF
 *REAR COVERED LIVING_398 SF
 *REAR POOL STORAGE_192 SF



X2 Building Section

3/16" = 1'-0"



X2a Building Section

3/16" = 1'-0"

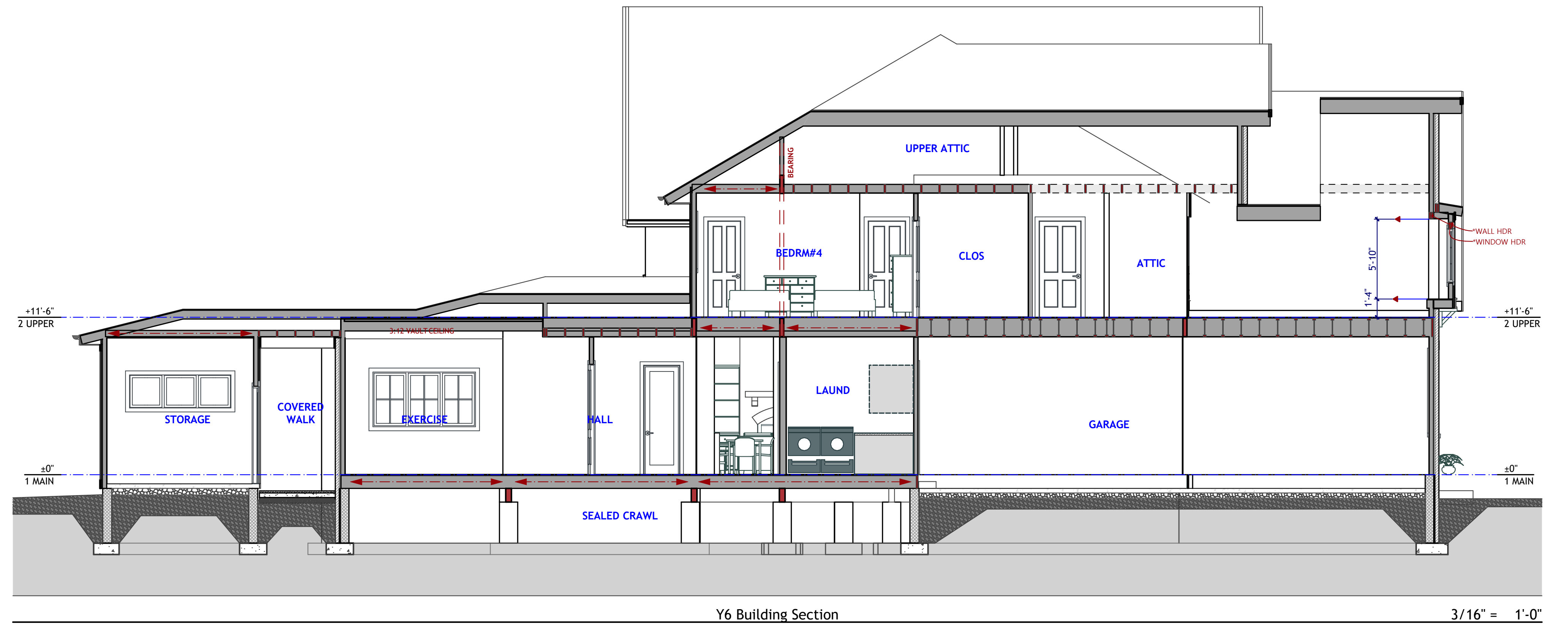
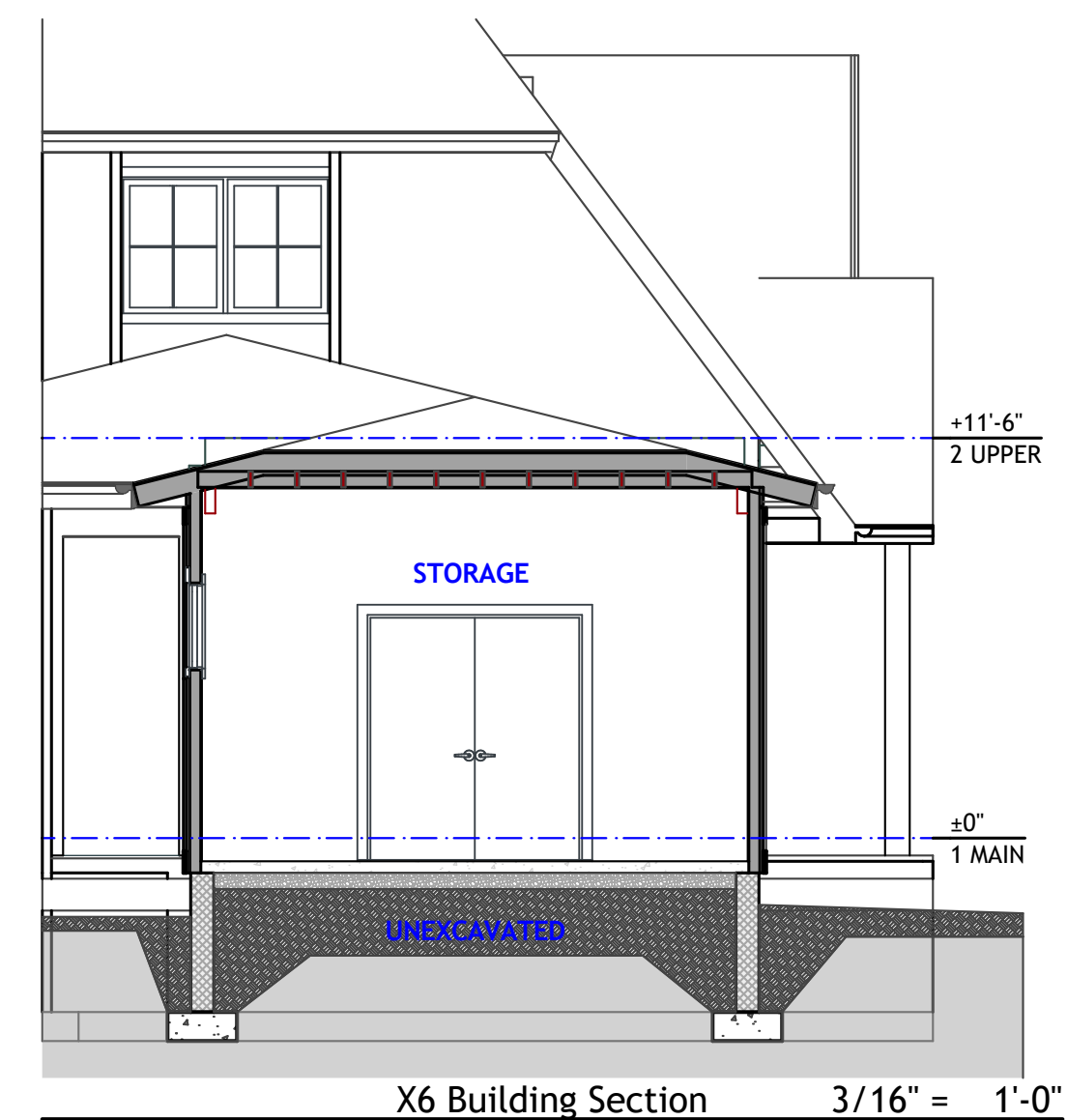
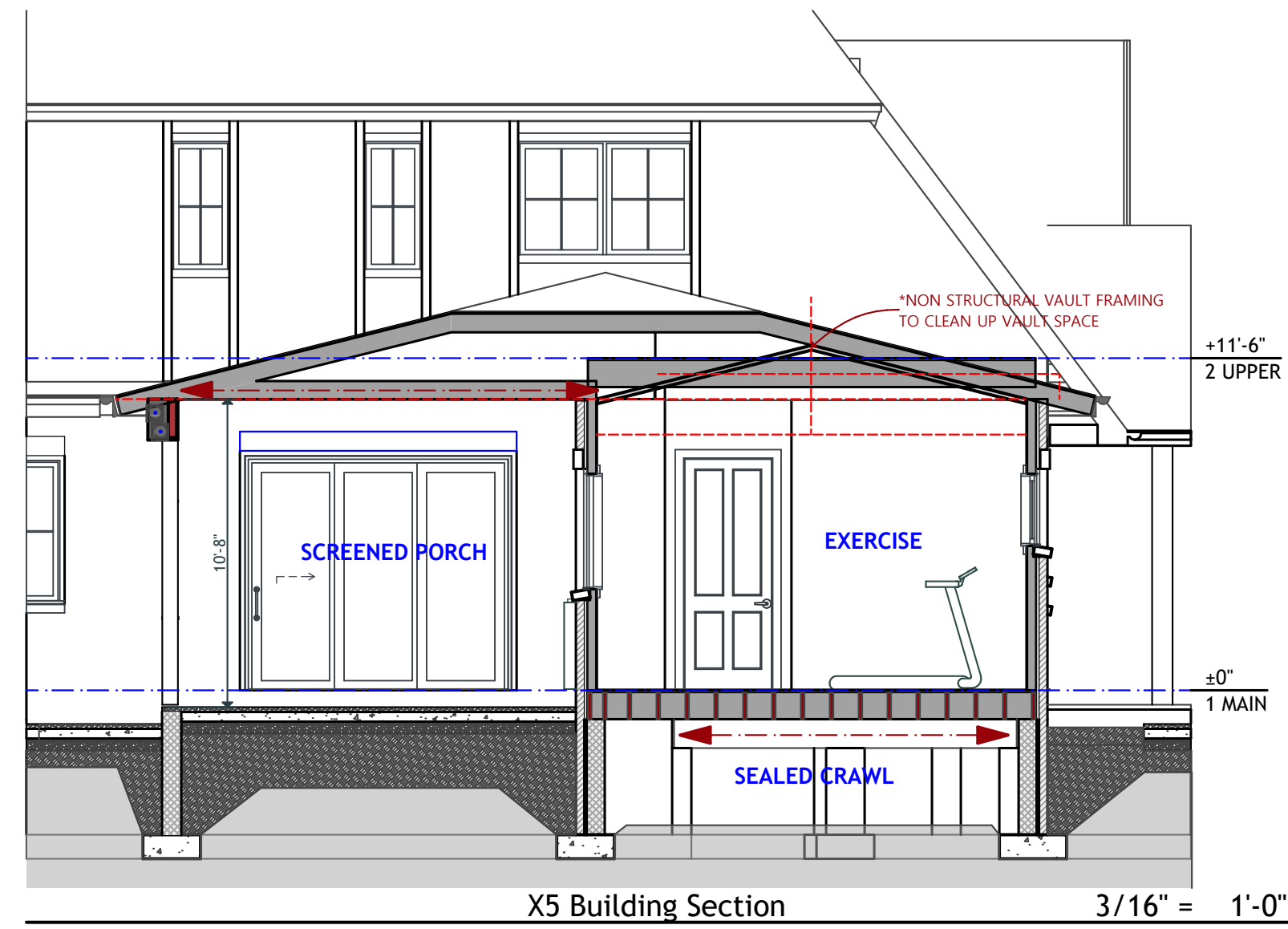
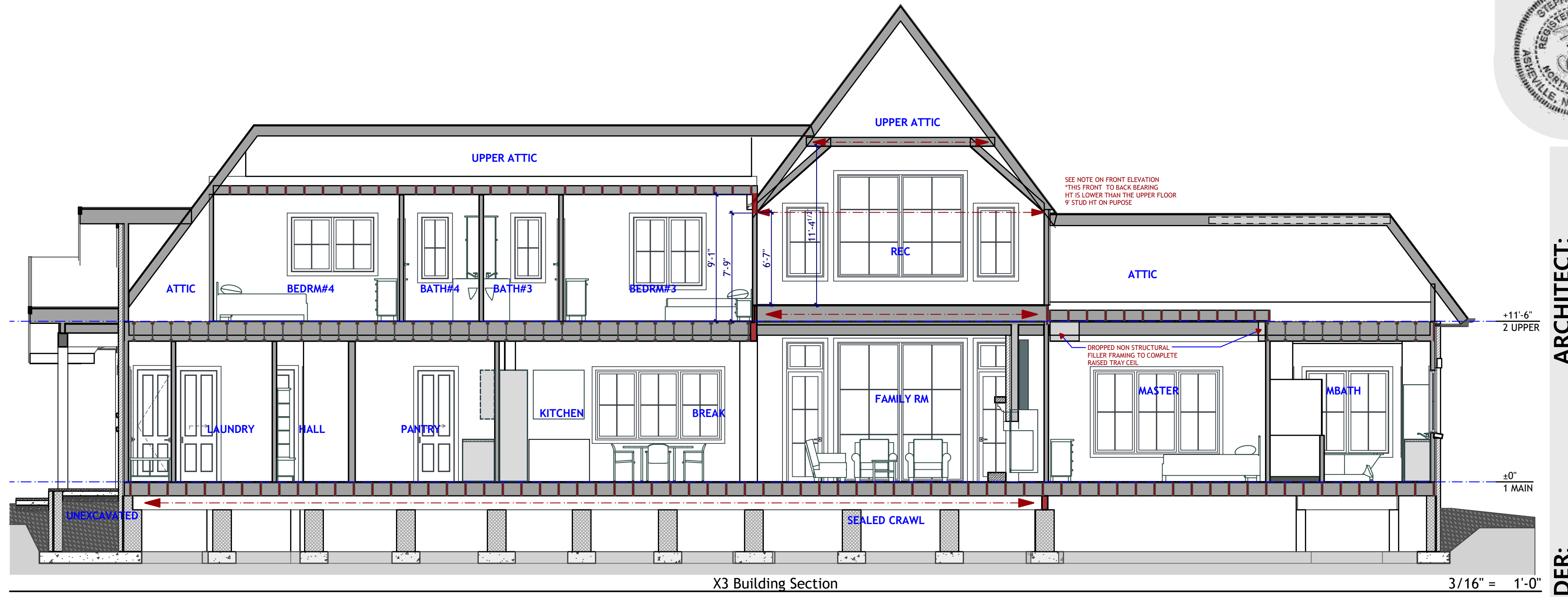
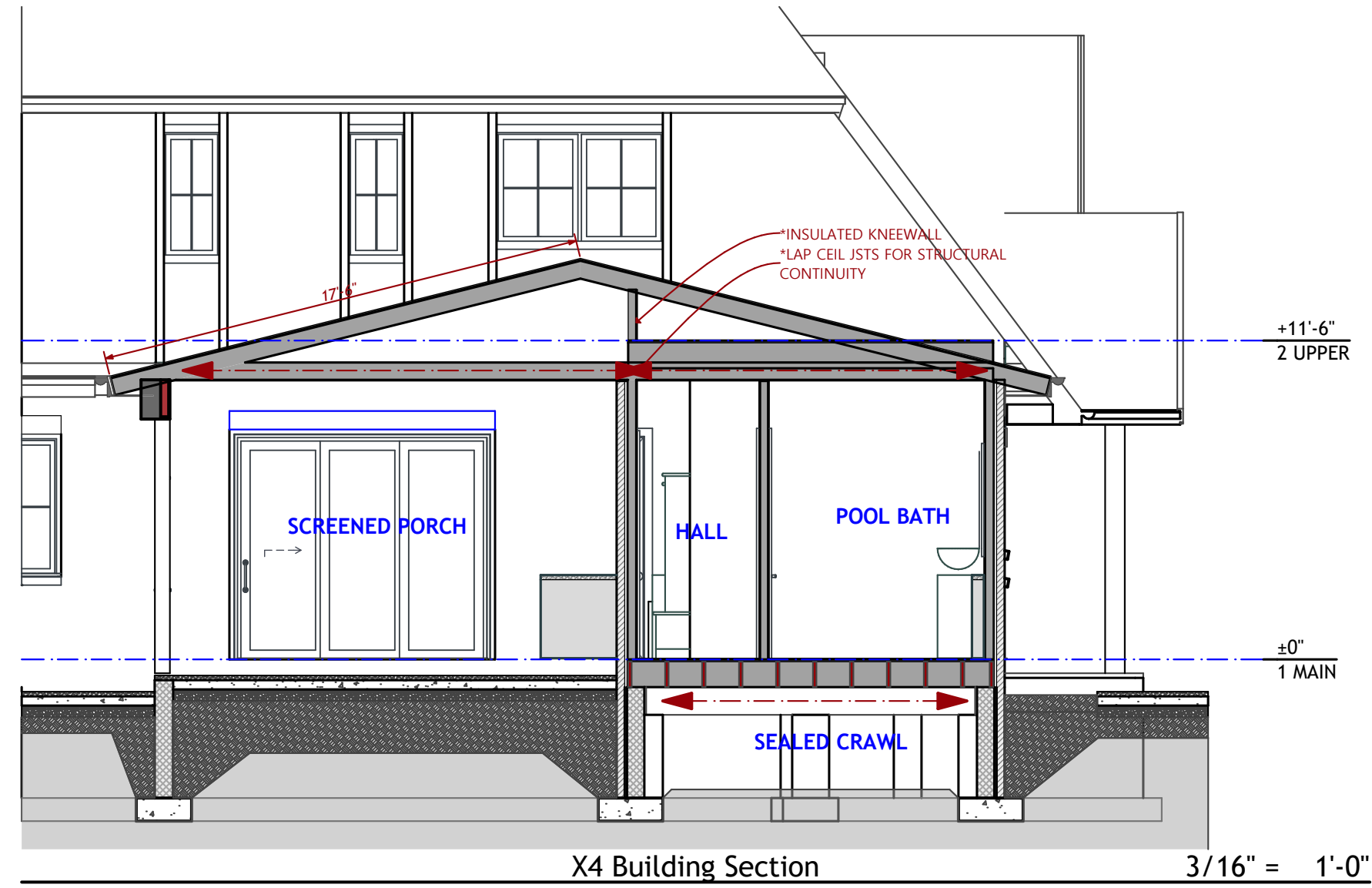
ARCHITECT: STEPHEN CLUGGISH
 21 Snowshoe Asheville, NC 28803
 stephenccluggish@gmail.com
 828.450.7431

BUILDER: KJ CONSTRUCTION INC
 STEVEN KJELLBERG 919-422-8611

SUBMISSIONS:
 1. PRELIMINARY DESIGN SET_3/24/2021
 2. DESIGN DEVELOPMENT SET_4/23/2021
 3. CONSTRUCTION & PERMIT SET_5/10/2021
 4. REVISION_7/17/2021
 5. REVISION_

PROJECT: CUSTOM RESIDENCE
 STREET ADDRESS/SUBDIVISION
 RALEIGH, NC 27614

SHEET: C.11



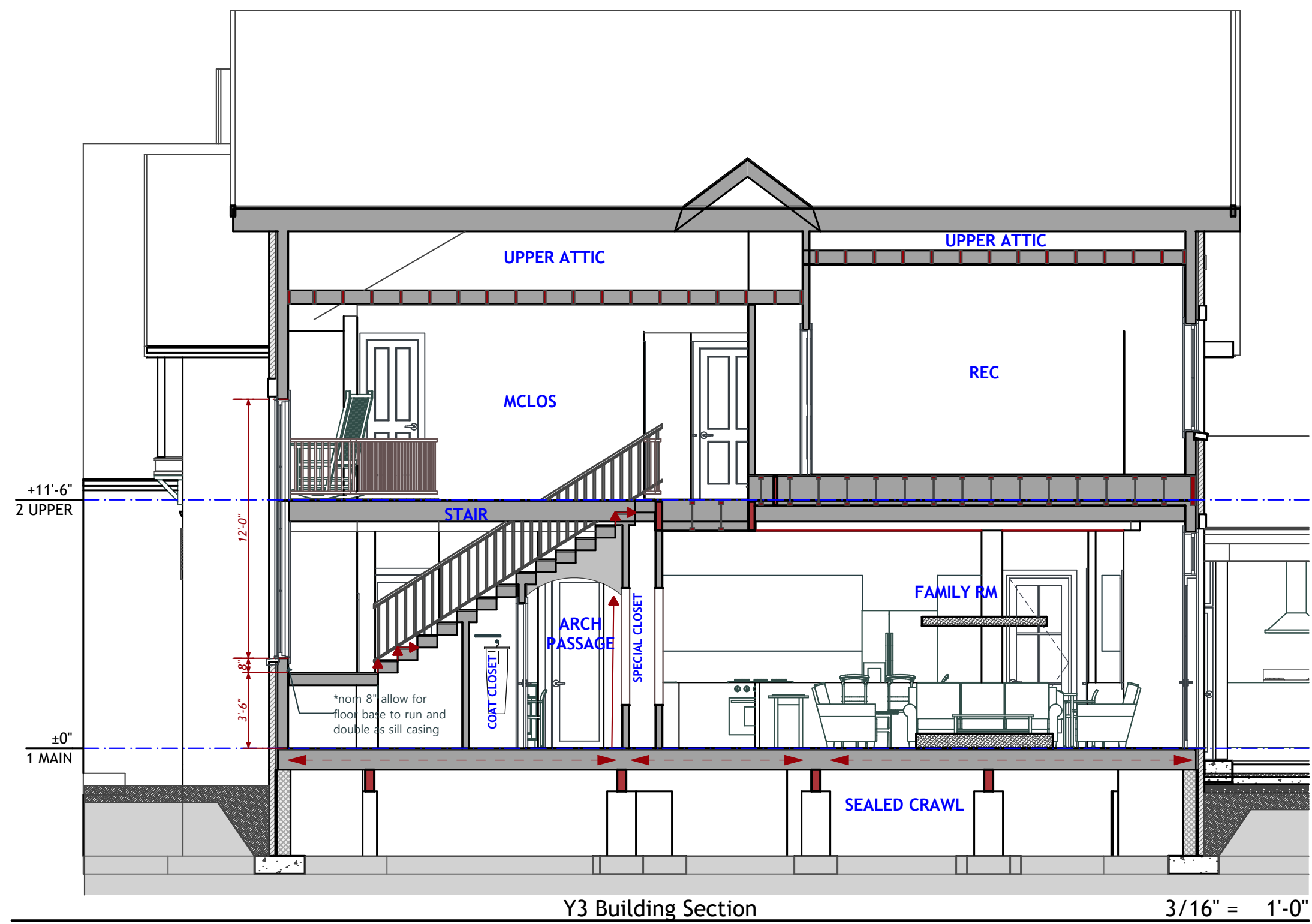
ARCHITECT:
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stephencluggish@gmail.com
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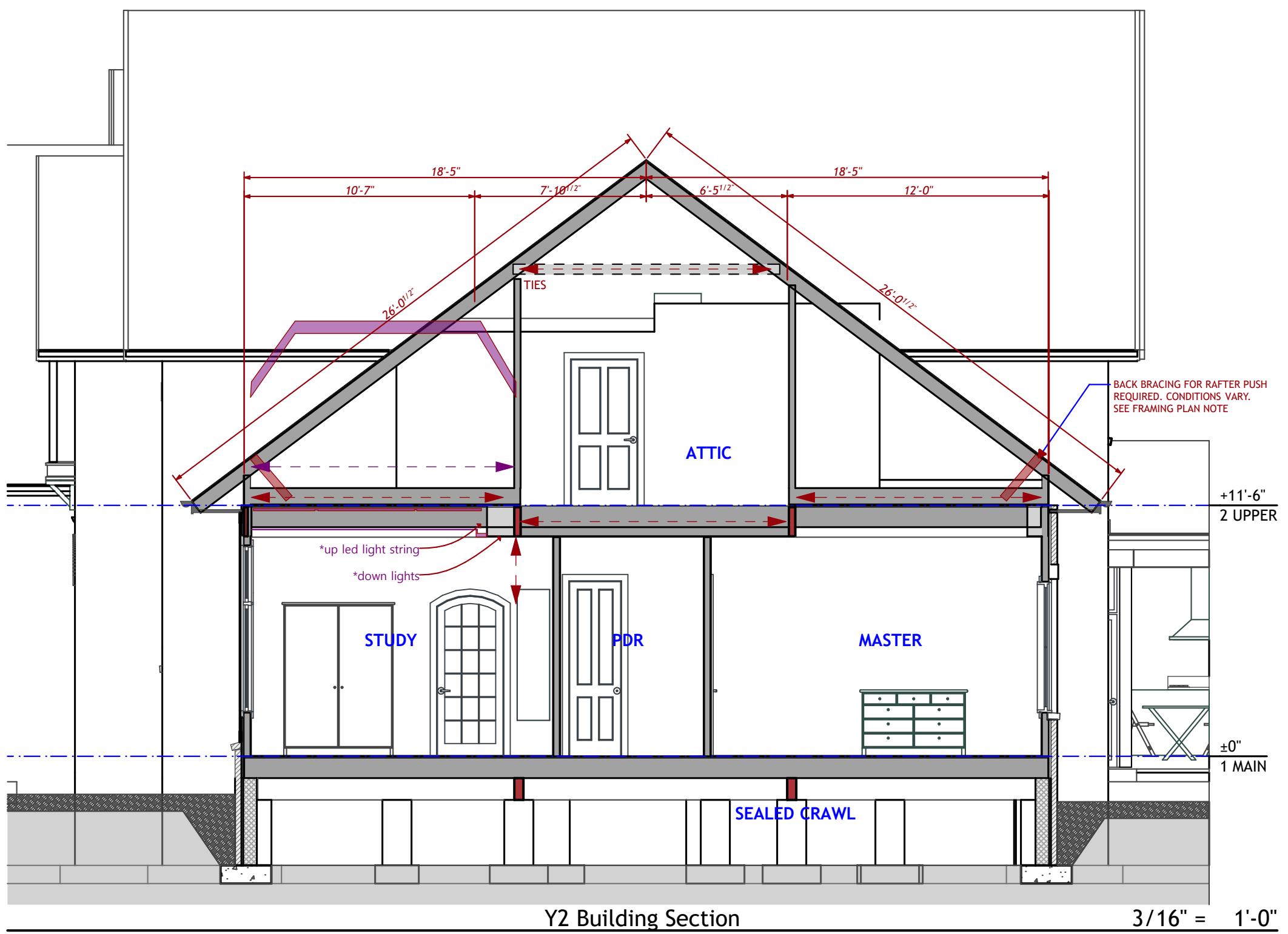
SUBMISSIONS:
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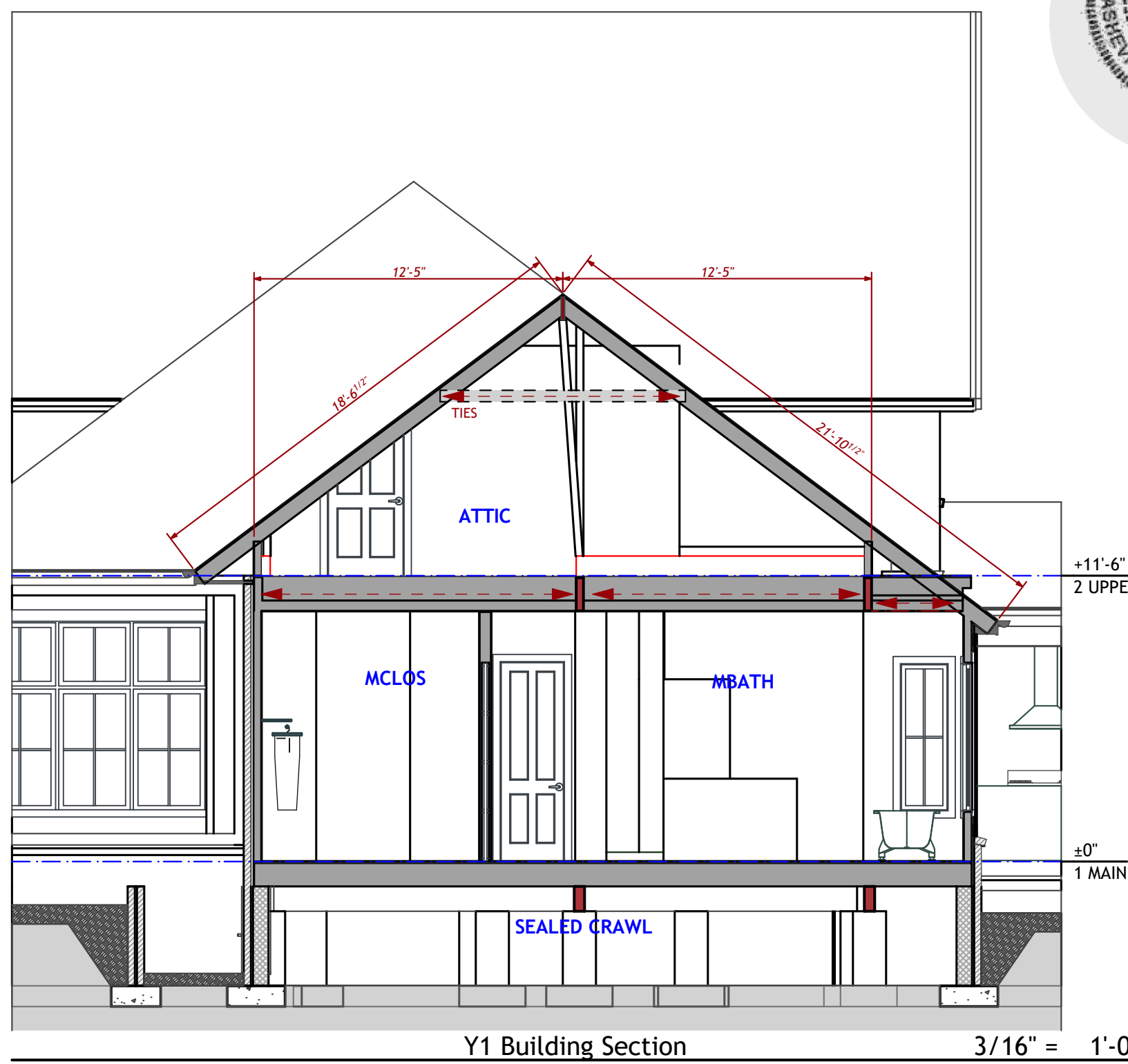
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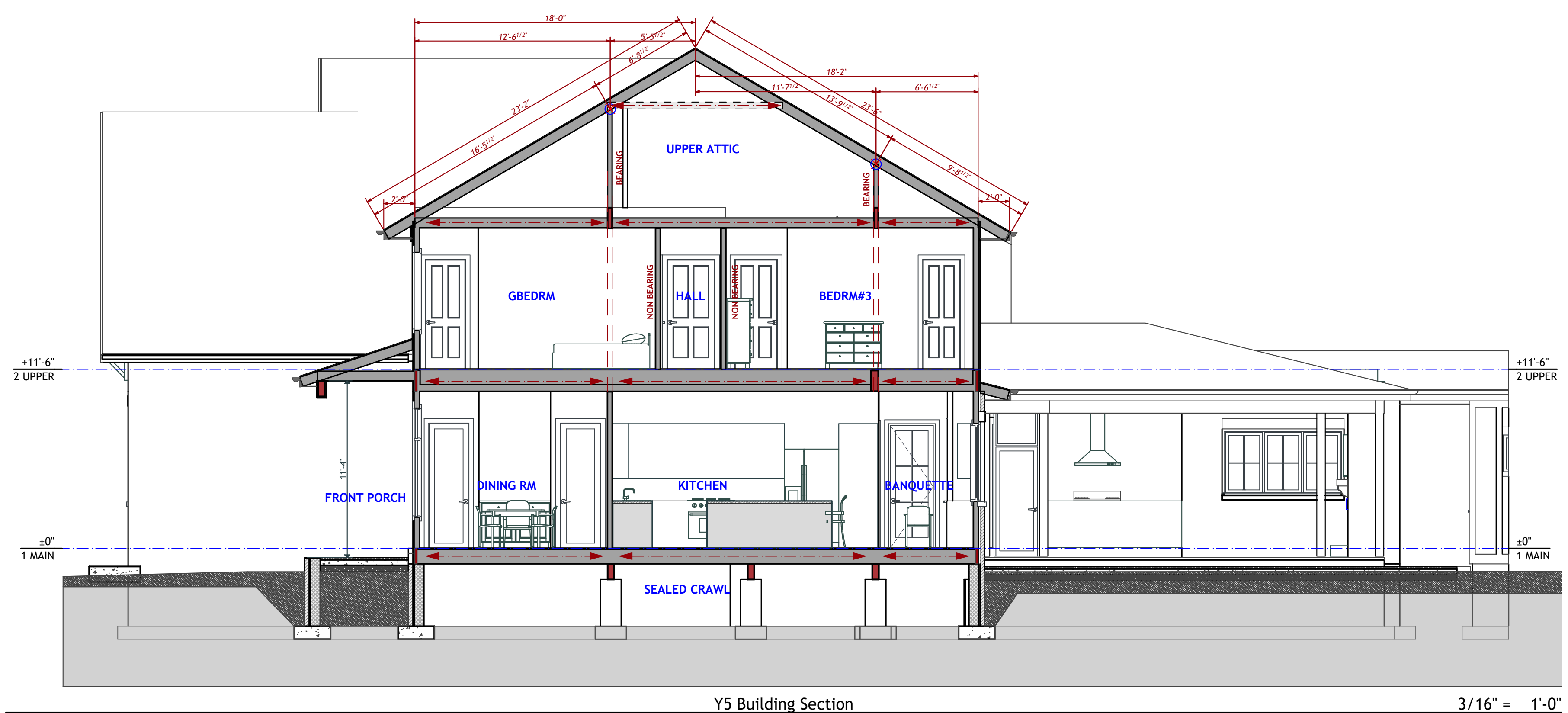
Y3 Building Section 3/16" = 1'-0"



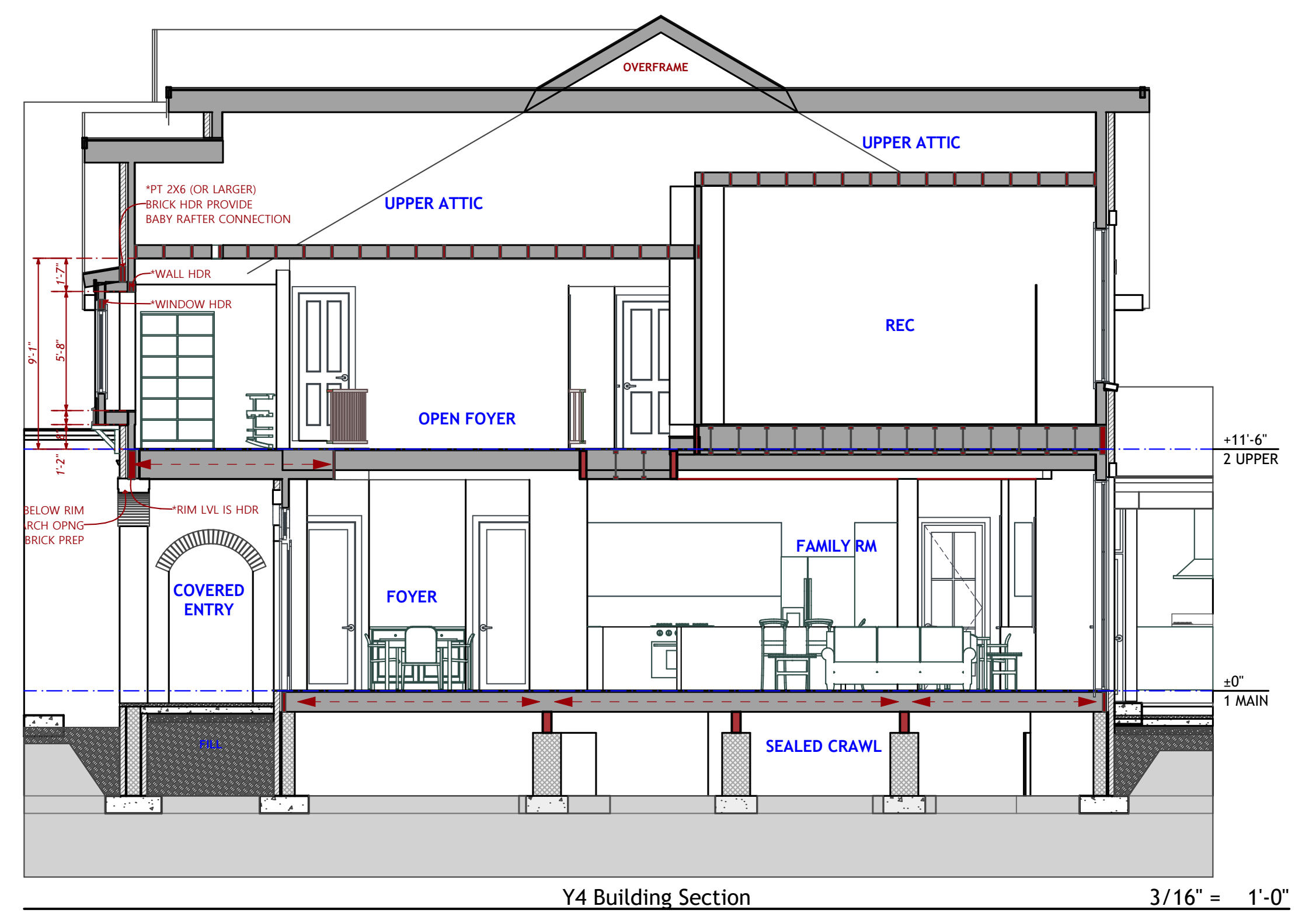
Y2 Building Section 3/16" = 1'-0"



Y1 Building Section 3/16" = 1'-0"



Y5 Building Section 3/16" = 1'-0"



Y4 Building Section 3/16" = 1'-0"

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PROJECT:
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SHEET:
C.13



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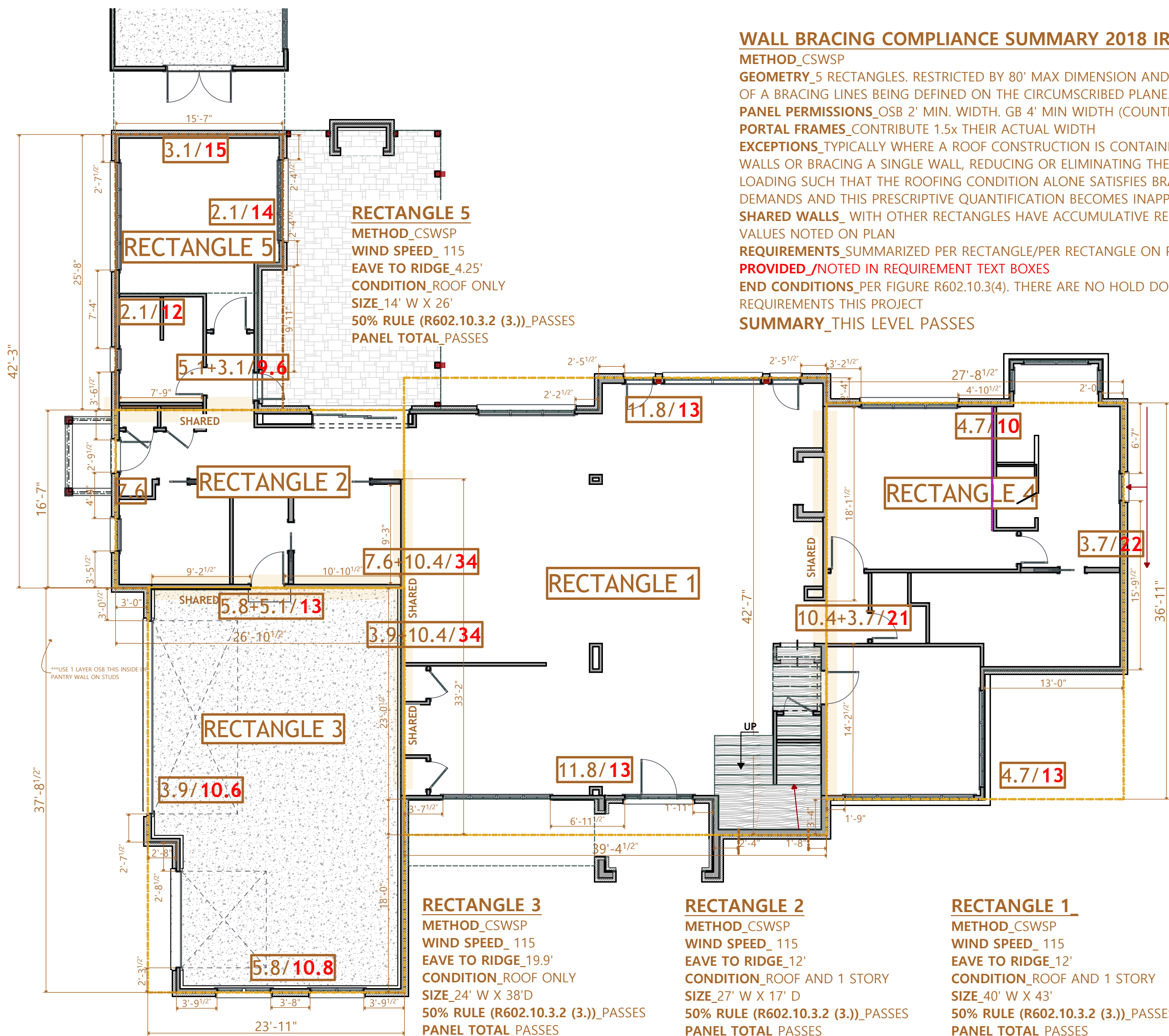
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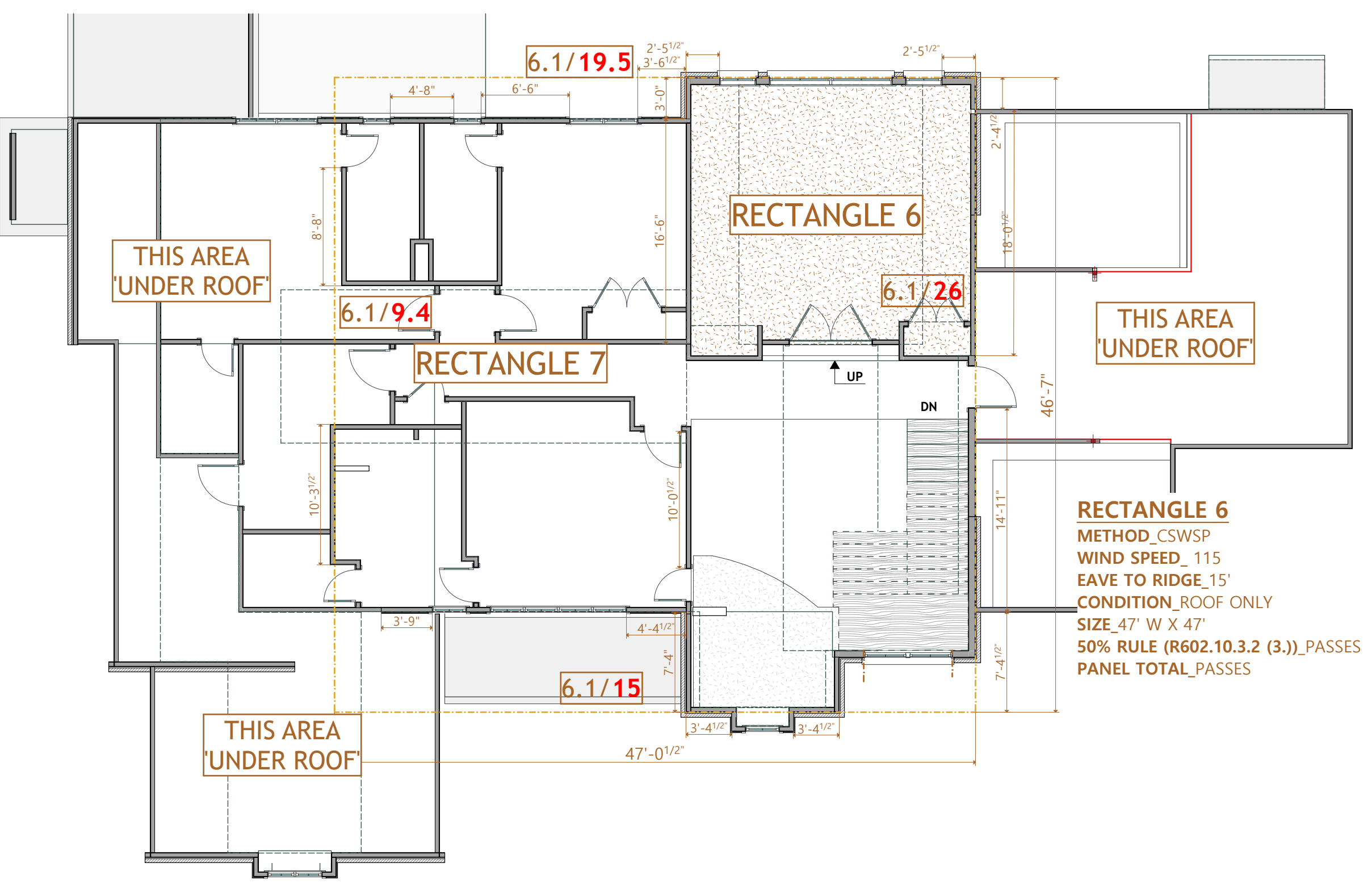
SHEET:
C.14

WALL BRACING COMPLIANCE SUMMARY 2018 IRC R602.10

METHOD_CSWSWP
GEOMETRY_5 RECTANGLES, RESTRICTED BY 80' MAX DIMENSION AND A MIN OF 50% OF A BRACING LINES BEING DEFINED ON THE CIRCUMSCRIBED PLANE.
PANEL PERMISSIONS_OSB 2' MIN. WIDTH, GB 4' MIN WIDTH (COUNTING 50%)
PORTAL FRAMES_CONTRIBUTE 1.5x THEIR ACTUAL WIDTH
EXCEPTIONS_TYPICALLY WHERE A ROOF CONSTRUCTION IS CONTAINING MULTIPLE WALLS OR BRACING A SINGLE WALL, REDUCING OR ELIMINATING THE LATERAL WALL LOADING SUCH THAT THE ROOFING CONDITION ALONE SATISFIES BRACING DEMANDS AND THIS PRESCRIPTIVE QUANTIFICATION BECOMES INAPPROPRIATE.
SHARED WALLS_WITH OTHER RECTANGLES HAVE ACCUMULATIVE REQUIRED VALUES NOTED ON PLAN
REQUIREMENTS_SUMMARIZED PER RECTANGLE/PER RECTANGLE ON PLAN
PROVIDED/NOTED IN REQUIREMENT TEXT BOXES
END CONDITIONS_PER FIGURE R602.10.3(4). THERE ARE NO HOLD DOWN REQUIREMENTS THIS PROJECT
SUMMARY_THIS LEVEL PASSES

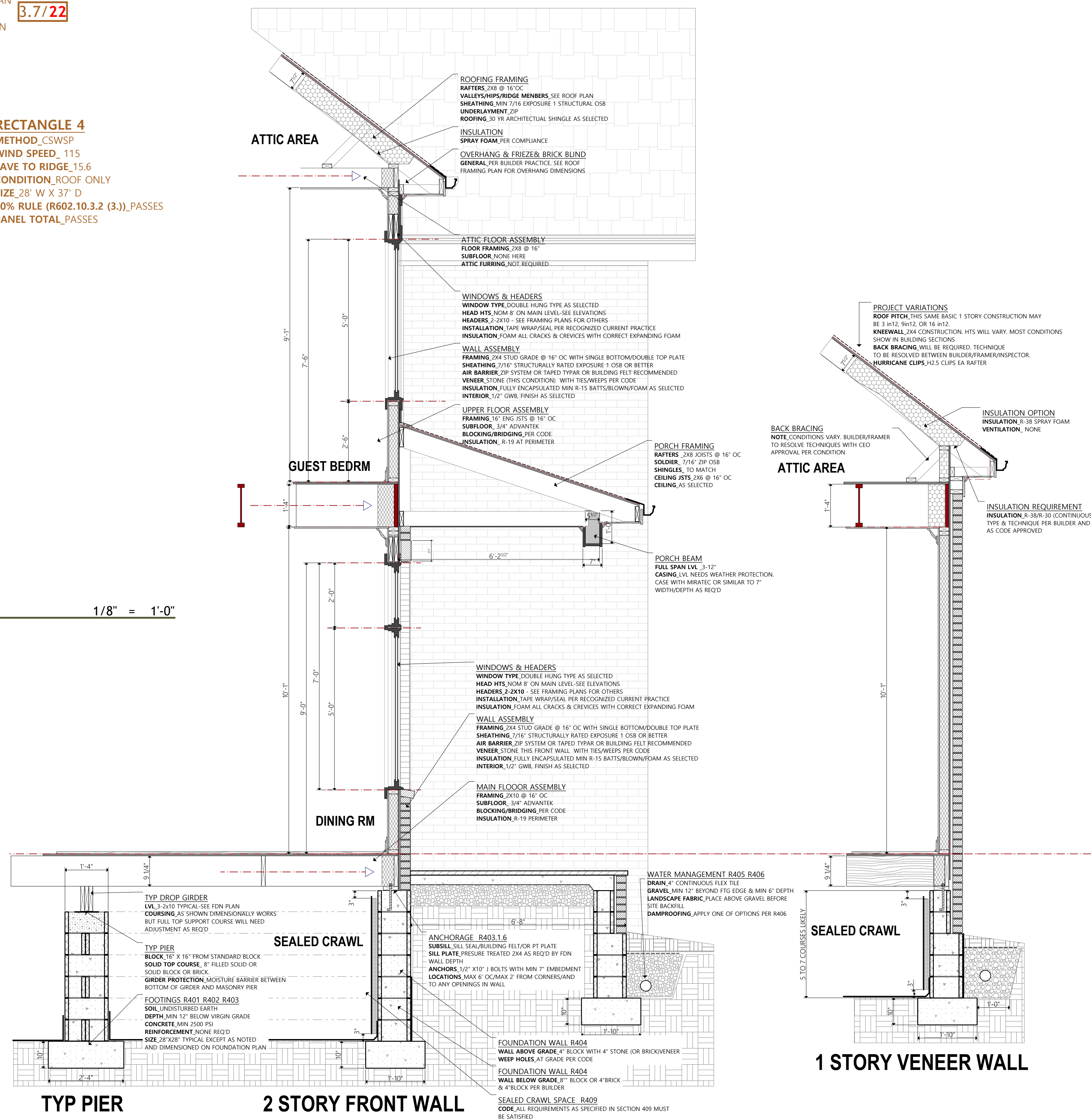


MAIN LEVEL lateral bracing compliance 1/8" = 1'-0"



UPPER LEVEL lateral bracing compliance 1/8" = 1'-0"

RECTANGLE 4
METHOD_CSWSWP
WIND SPEED_115
EAVE TO RIDGE_15.6
CONDITION_ROOF ONLY
SIZE_28' W X 37' D
50% RULE (R602.10.3.2 (3.))_PASSES
PANEL TOTAL_PASSES



WS representative wall sections 1/2" = 1'-0"