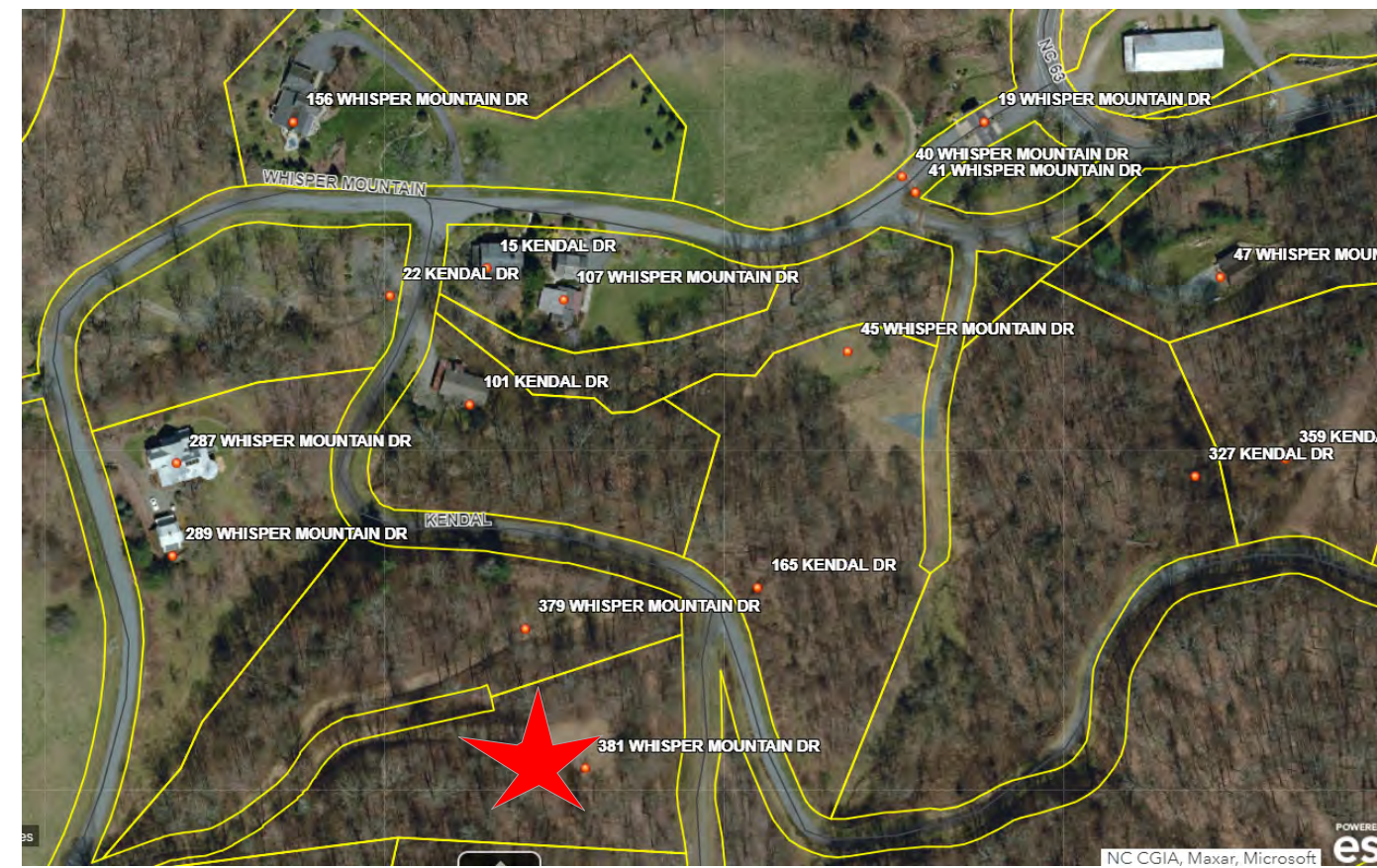


### LOT LOCATION at WHISPER MTN



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828.450.7431

CANDICE DAVIES/KLAUS HERMANN'S RESIDENCE  
381 Whisper Mountain Dr, Leicester NC 28748  
Off State Rt 63 Madison Co

1. 6/09/2021 BUDGET SET  
2. 11/21/2021 PERMIT SET  
3. X.X.X  
4. X.X.X  
5. X.X.X

DRAWINGS THIS SHEET:  
SITE+COMPLIANCES

C.1

### GENERAL & COMPLIANCE NOTES

- \***CODE REFERENCE**\_ALL WORK IN THIS PROJECT IS GOVERNED BY THE 2012 NORTH CAROLINA RESIDENTIAL CODE AND 2012 NORTH CAROLINA ENERGY CODE.
- \***COMPLIANCE RESPONSIBILITY**\_ALL CONTRACTORS ARE RESPONSIBLE FOR ALL CODES GOVERNING THEIR WORK AS WELL AS ALL ATTENDING PERMITS, FEES, AND INSPECTIONS.
- \***DRAWING COMPLETENESS**\_CONSTRUCTION DOCUMENTS CANNOT AND DO NOT PRETEND TO INCLUDE ALL CODE COMPLIANCE DATA OR TO ADDRESS ALL CONSTRUCTION CONDITIONS. THEY ARE ACCURATE GUIDELINES AT BEST AND RELY ON APPLICABLE CODE MANUALS AND THE PROFESSIONAL PRACTICES AND BEHAVIOR OF THE LICENSED BUILDERS AND SUBCONTRACTORS.
- \***COORDINATION**\_CLARIFICATIONS, DEVIATIONS, MORE SPECIFIC INFORMATION, OR ADDITIONAL DRAWINGS ARE LIKELY. TIMELINESS IN SEEKING THAT DATA IS THE RESPONSIBILITY OF THE CONTRACTOR(S). A TIMELY RESPONSE CAN BE EXPECTED FROM THE ARCHITECT.
- \***DRAWING ACCURACY**\_THESE DRAWINGS ARE DERIVED FROM A COMPUTER MODEL AND ARE DRAWN WITH A 1/2" TOLERANCE. THIS RESULTS IN A TYPICALLY VERY ACCURATE SET OF DRAWINGS. IF DIMENSIONS ARE FOLLOWED THE CONSTRUCTION WILL "CLOSE" EXACTLY AS THE COMPUTER MODEL DOES. THIS INCLUDES ALL ROOF PLANES.
- \***DIMENSIONAL DEVIATIONS**\_IF CONSTRUCTION DEVIATES FROM THE DRAWING IN ANY SPECIFIC LOCATION THEN THE POSSIBILITY OF DIMENSIONAL INACCURACY IN OTHER LOCATIONS IS DEFINITELY OPENED UP. IF CEILING HTS, OR FLOOR THICKNESSES, OR PLATE AND KNEE WALL HTS DIFFER FROM THE ASSUMED CONDITIONS IN THE DRAWINGS THEN THE CONTRACTOR MUST ANTICIPATE HOW/IF THEY MAY EFFECT OTHER CONDITIONS. THE ARCHITECT IS AVAILABLE TO HELP ANALYZE ANY SUCH DEVIATION/POTENTIAL PROBLEM.
- TYPICAL SPECIFIC PROBLEM AREAS THAT MAY BE EFFECTED IN THESE INSTANCES ARE STAIRS AND WINDOWS (HTS/HEADS/SILLS/EGRESS), AND THE CLOSING OF ROOF PLANES.
- \***SITE AND SOIL**\_THESE DRAWINGS ARE PRODUCED WITHOUT SPECIFIC KNOWLEDGE OF THE SITE AND SITE SOIL CONDITIONS. THE ASSUMED BEARING VALUE OF THE SOIL IS 2000 PSF AND THE SOIL CONDITION IS ASSUMED DRY AND CONSISTENT. ANY DEVIATION FROM THIS ASSUMPTION NEEDS TO BE COMMUNICATED OR ADDRESSED PRIOR TO ANY FOOTING INSTALLATION.
- \***CONSTRUCTION PRODUCT SELECTIONS & RESPONSIBILITIES**\_GENERAL CONSTRUCTION PRODUCTS AND SPECIFICATIONS ON THESE DRAWINGS ARE TYPICALLY GENERIC. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR SPECIFIC PRODUCT SELECTIONS, INSTALLATION, WARRANTY ETC.
- \***CONSTRUCTION & CONTRACT ADMINISTRATION**\_THE ARCHITECT HAS NOT BEEN ENGAGED FOR NOR IS RESPONSIBLE FOR ANY SITE, CONSTRUCTION, OR CONTACT ADMINISTRATION OR SUPERVISION.
- \***USE OF DRAWINGS**\_THESE CUSTOM DRAWINGS ARE THE PROPERTY OF THE OWNER AND ARCHITECT AND ARE FOR USE ON THIS SPECIFIC PROJECT ONLY. ANY OTHER USE OF THESE DRAWINGS IS A VIOLATION OF COMMON COPYRIGHT LAW AND IS ILLEGAL.

### ENERGY COMPLIANCE

MINIMUM INSULATION REQUIREMENTS BY COMPONENT PER TABLE N1102.1.2 AS REQUIRED BY THE 2018 NORTH CAROLINA ENERGY CONSERVATION CODE.

### THIS PROJECT IN ZONE 4

#### COMPONENT

- \*FENESTRATION U-FACTOR MAX 0.35
- \*SKYLIGHT U-FACTOR MAX 0.55
- \*GLAZED FENESTRATION SHGC MAX 0.30
- \*CEILING R VALUE MIN R-38 OR R-30 CONTINUOUS
- \*WOOD FRAME WALL MIN R-15 or R-13+2.5
- \*MASS(402.2.3) WALL MIN R-5/13 or 5/10
- \*FLOOR OVER UNCONDITIONED SPACE MIN R-19
- \*BASEMENT WALL CONTINUOUS MIN R-10
- \*BASEMENT WALL CAVITY(STUDS) MIN R-15
- \*SLAB R-10
- \*CRAWL SPACE CONTINUOUS MIN R-10
- \*CRAWL SPACE CAVITY(STUDS) MIN R-15

### BUILDING PLANNING SUMMARY

#### R301 PROJECT SPECIFIC DESIGN CRITERIA

PROJECT: DAVIES/HERMANN'S RESIDENCE

LOCATION: MADISON CO

DESIGN DEPERATURE (R301.2(1)CC 18 deg F

SEISMIC CATAGORY(R301.2(1)CC B

FROST LINE DEPTH 18"

SNOW LOAD (R301.2(5) 20 PSF

WEATHERING DESIGN CATAGORY MODERATE

TERMITE DESIGN CATAGORY (R301.2(6) MODERATE TO HEAVY

DECAY DESIGN CATAGORY R301.2(7) SLIGHT TO MODERATE

SOIL CATAGORIES (R401.4.1) (ASSUMED) CI, ML,MH,CH

PRESUMPTIVE SOIL BEARING 2000 PSF

DESIGN PRESSURE RATING FOR WINDOWS & DOORS (R301.2(6) DP25

ULTIMATE DESIGN WIND SPEED 120 MPH per R301.2(5)

WIND EXPOSURE CATAGORY (R301.2.1.4) B

MAXIMUM MEAN ROOF HT 25' FT

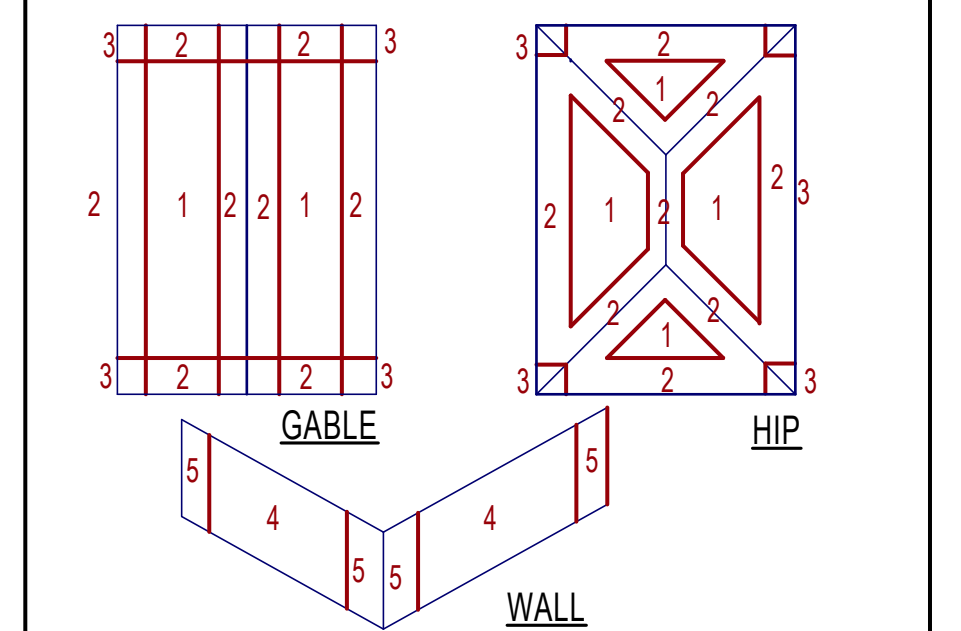
EXPOSURE ADJUSTMENT COEFFICIENT (R301.2(2) 1.00

### COMPONENT & CLADDING REQUIREMENTS

\*ADJUSTED PER CODE COEFFICIENT AND MAX MEAN ROOF HT (TABLE R301.2(2)) AND ELEVATION ADJUSTMENT (TABLE R301.2(5))

\*VALUES ARE BASED ON 10 SF EFFECTIVE WIND AREA AND MAX MEAN ROOF HT AND THEREFORE REPRESENT MAXIMUM LOADING CONDITION

EXPOSURE ZONE	DESIGN PRESSURE	UPLIFT FORCE
ROOF ZONE 1	10 PSF	-15 PSF
ROOF ZONE 2	10 PSF	-26 PSF
ROOF ZONE 3	10 PSF	-39 PSF
WALL ZONE 4	15.5 PSF	-16.0 PSF
WALL ZONE 5	15.5PSF	-20.0 PSF



### LIST of DRAWINGS

#### CONSTRUCTION SET

- C.1 COVER
- C.2 DESIGN site+key plans
- C.3 FDN LEVEL ftgs+foundation
- C.4 MAIN LEVEL floor framing
- C.5 MAIN LEVEL walls+dimensions
- C.6 UPPER LEVEL floor framing
- C.7 UPPER LEVEL walls+dimensions
- C.8 ROOF LEVEL layout
- C.9 ROOF LEVEL roof framing
- C.10 ELEVATIONS
- C.11 BUILDING SECTIONS
- C.12 BUILDING SECTIONS
- C.13 WALL SECTIONS



SITE 3d view 2



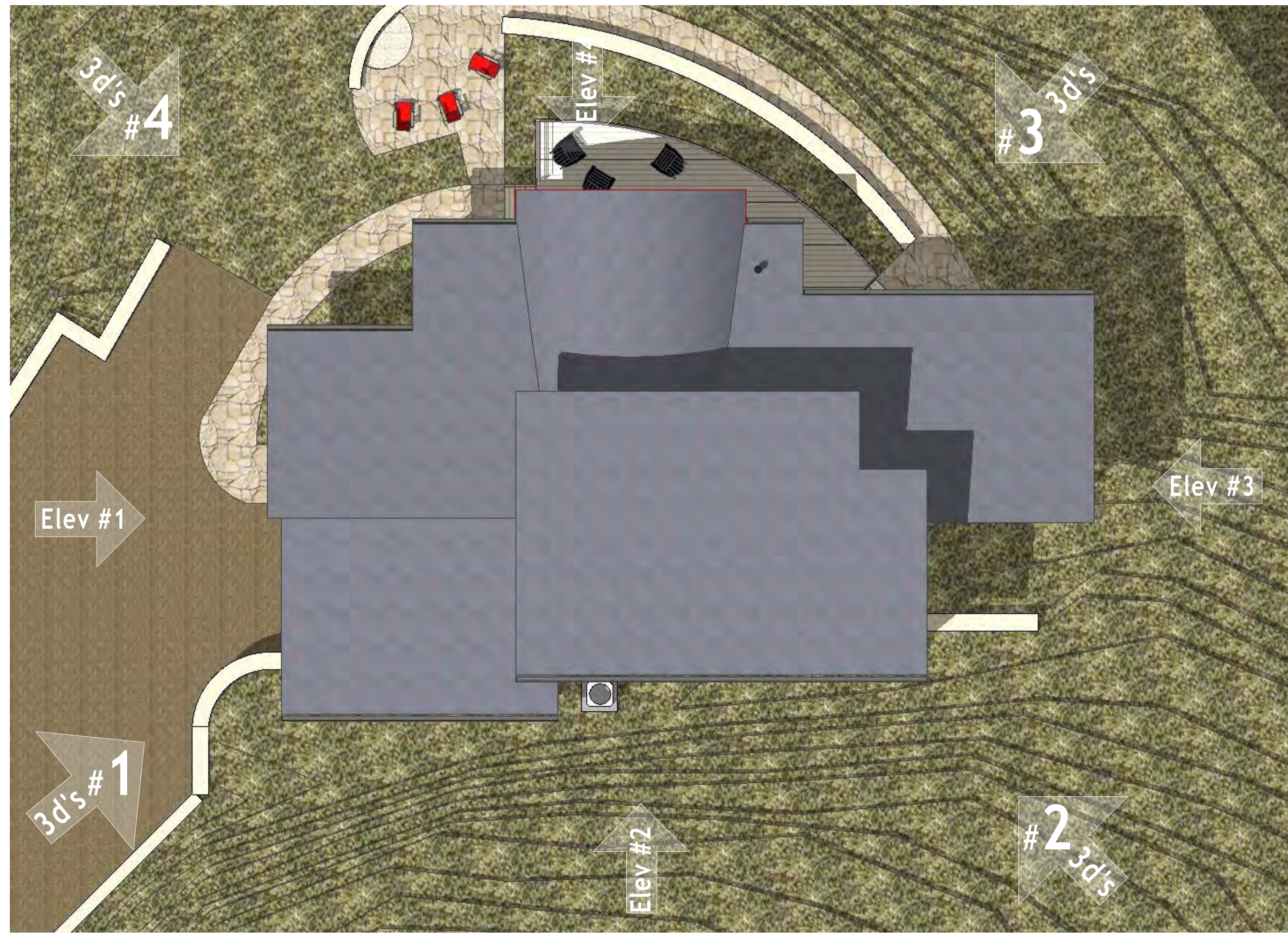
SITE 3d view 1



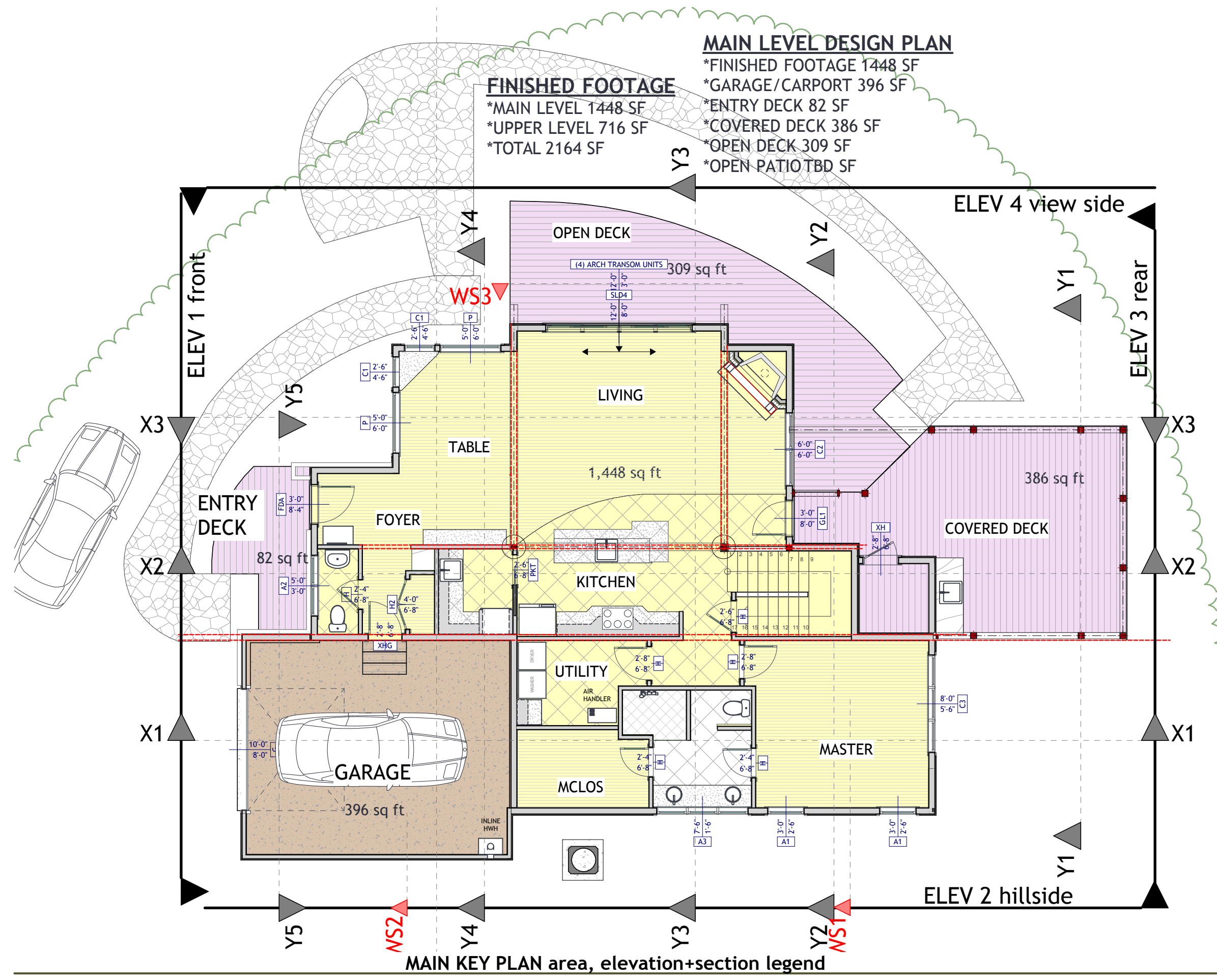
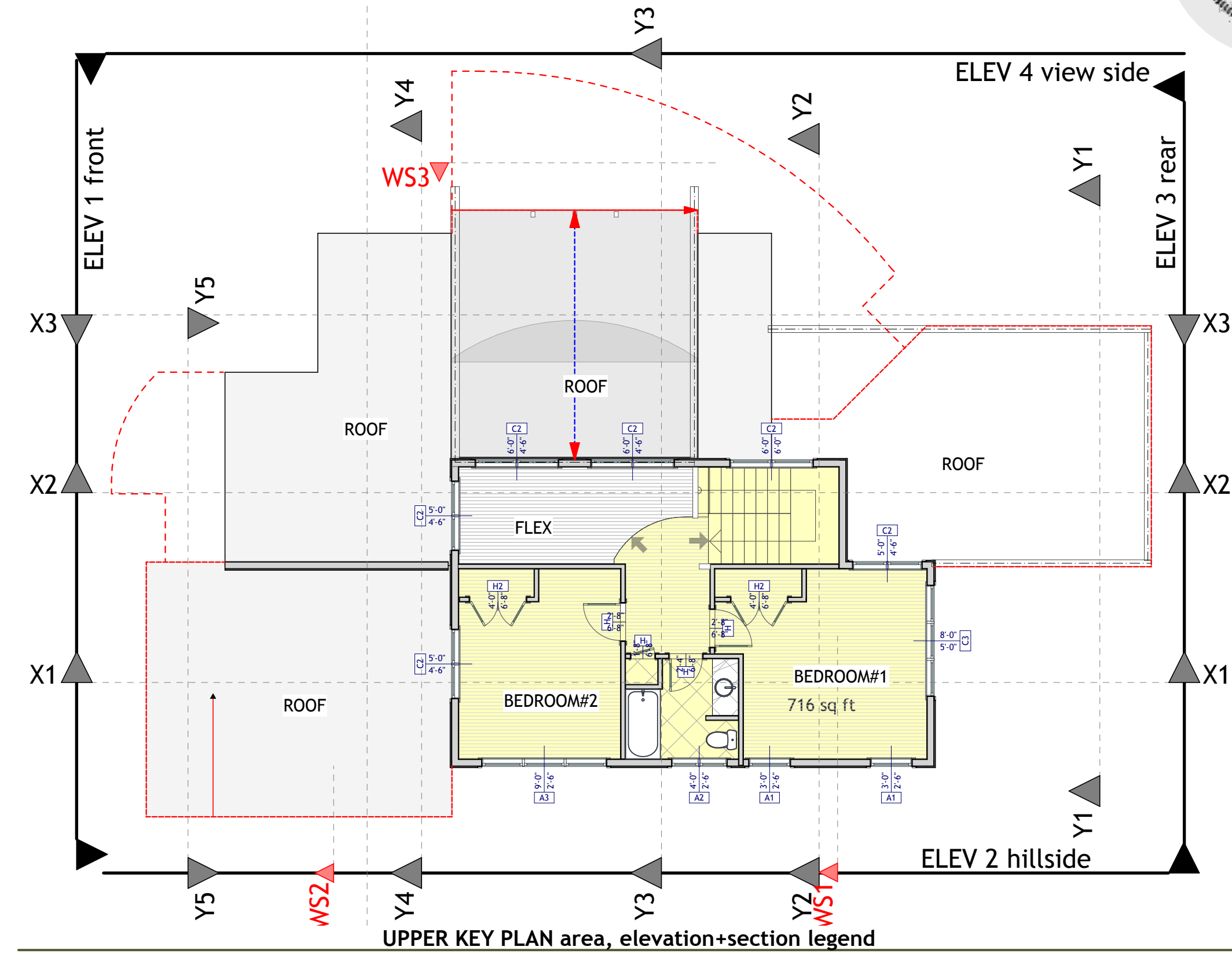
SITE 3d view 4



SITE 3d view 3



SITE 3d site plan



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 Off State Rt 63 Madison Co

**DRAWINGS THIS SHEET:**  
 DRAWING LEGEND





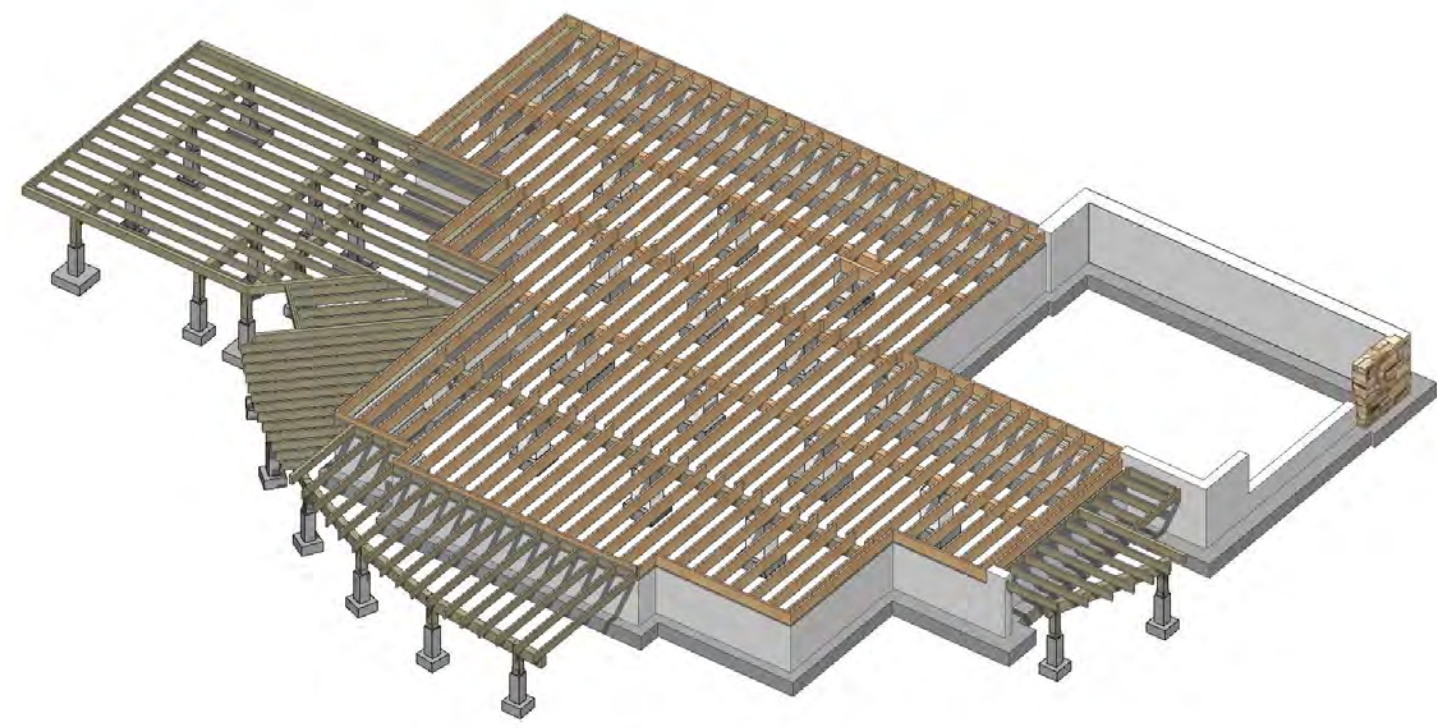
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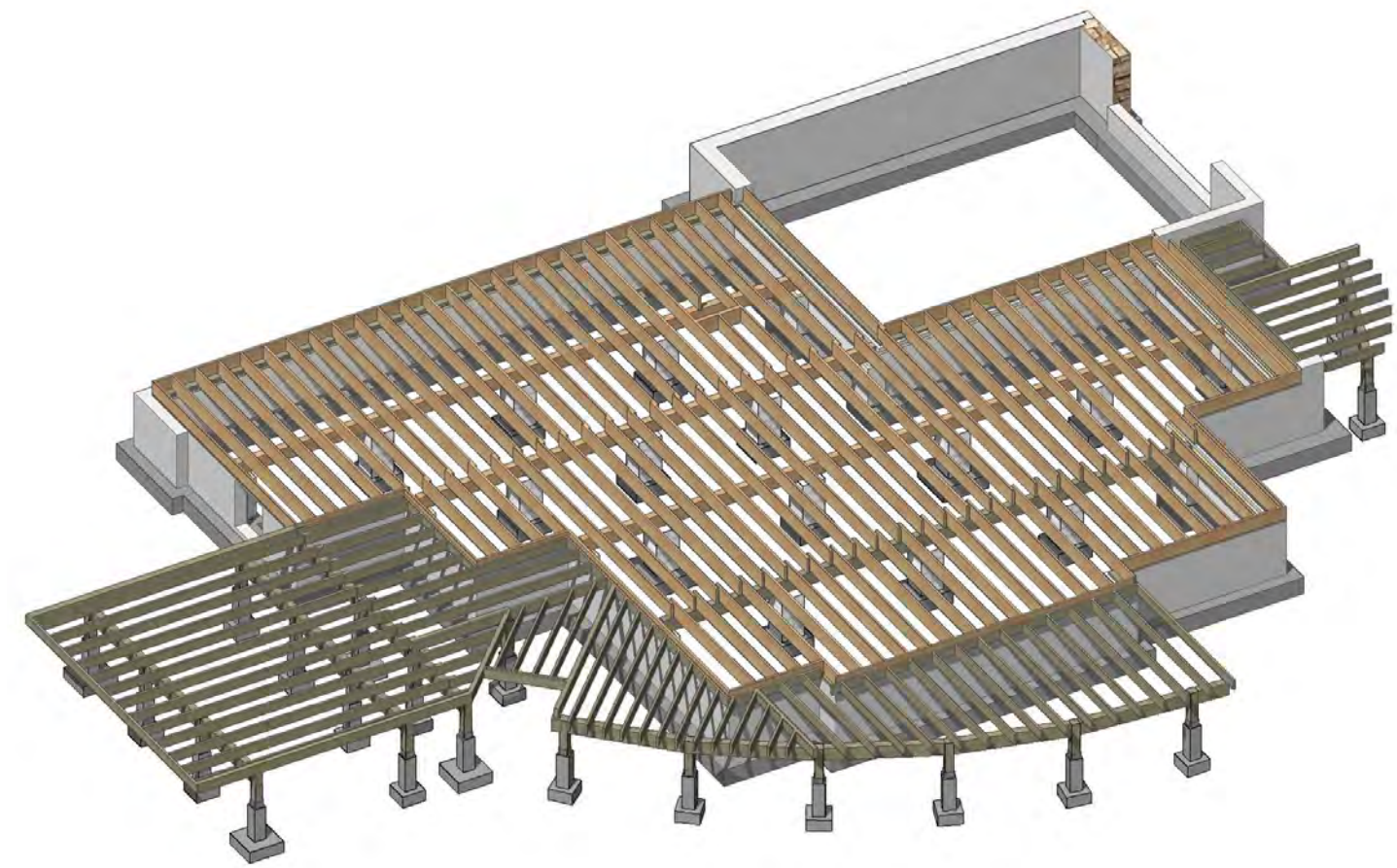
1. 6/09/2021 BUDGET SET  
2. 11/17/2021 PERMIT SET  
3. X.X.X.X  
4. X.X.X.X  
5. X.X.X.X

**DRAWINGS THIS SHEET:**  
MAIN LEVEL floor framing

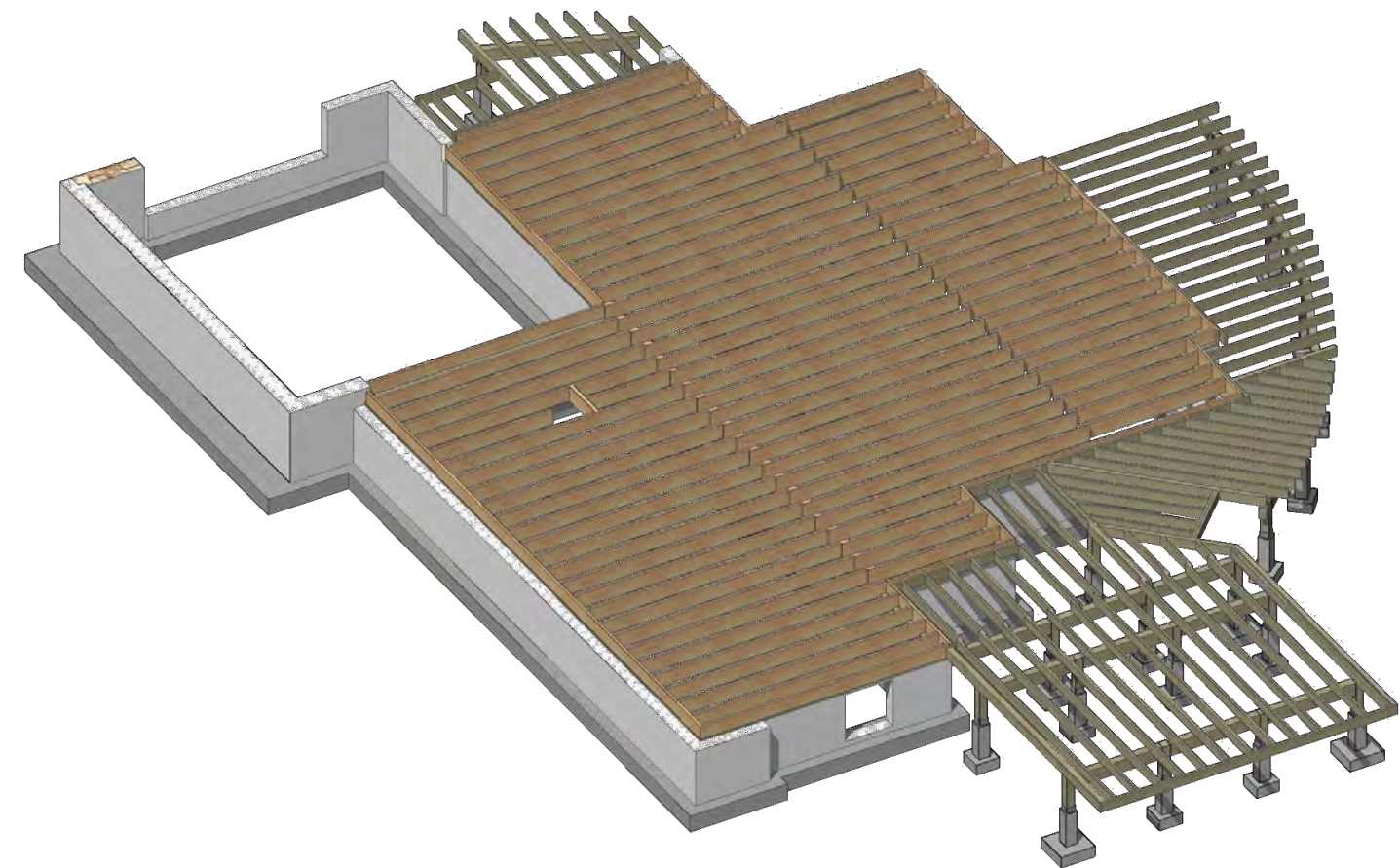
**C.4**



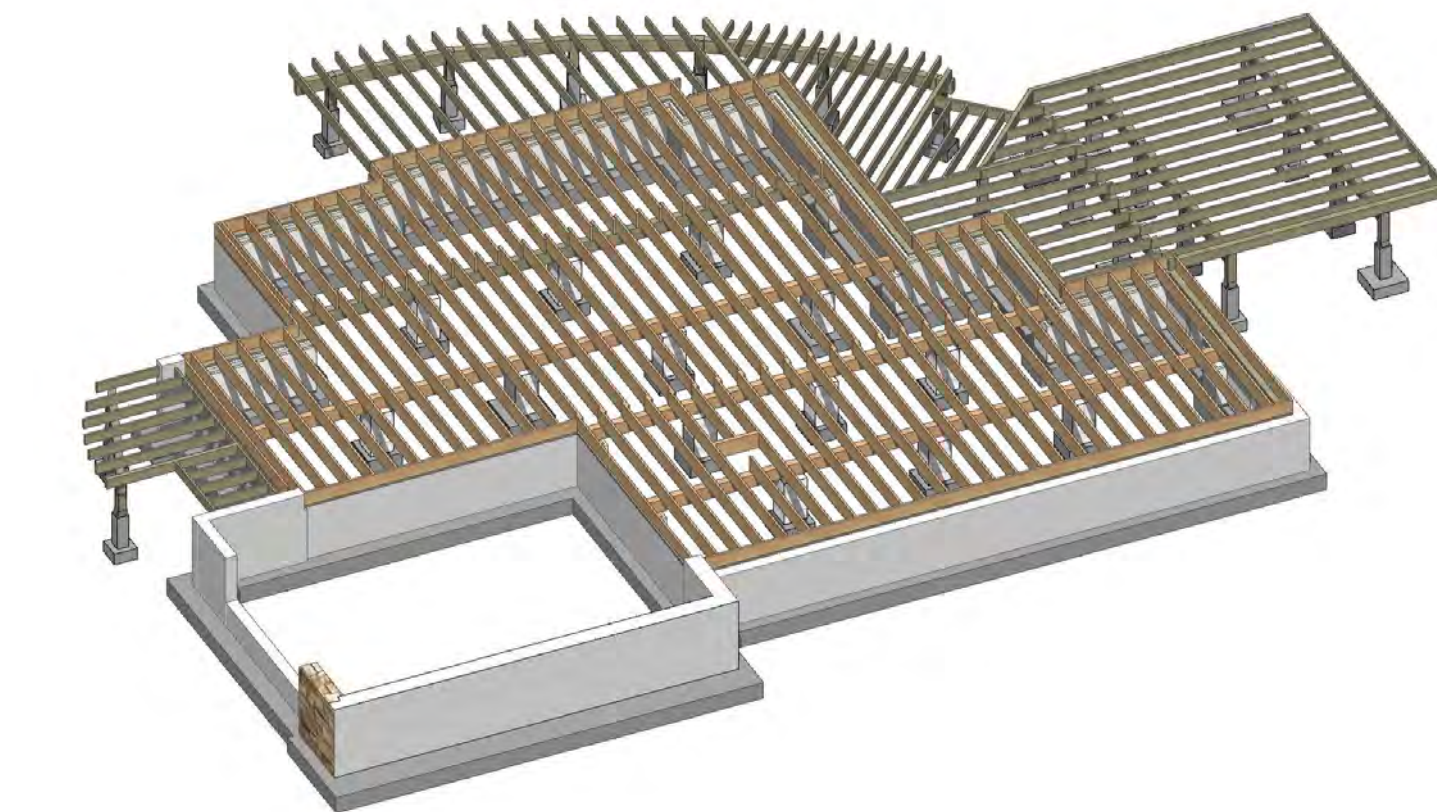
FDN LEVEL main level framing 4



FDN LEVEL main floor framing 3



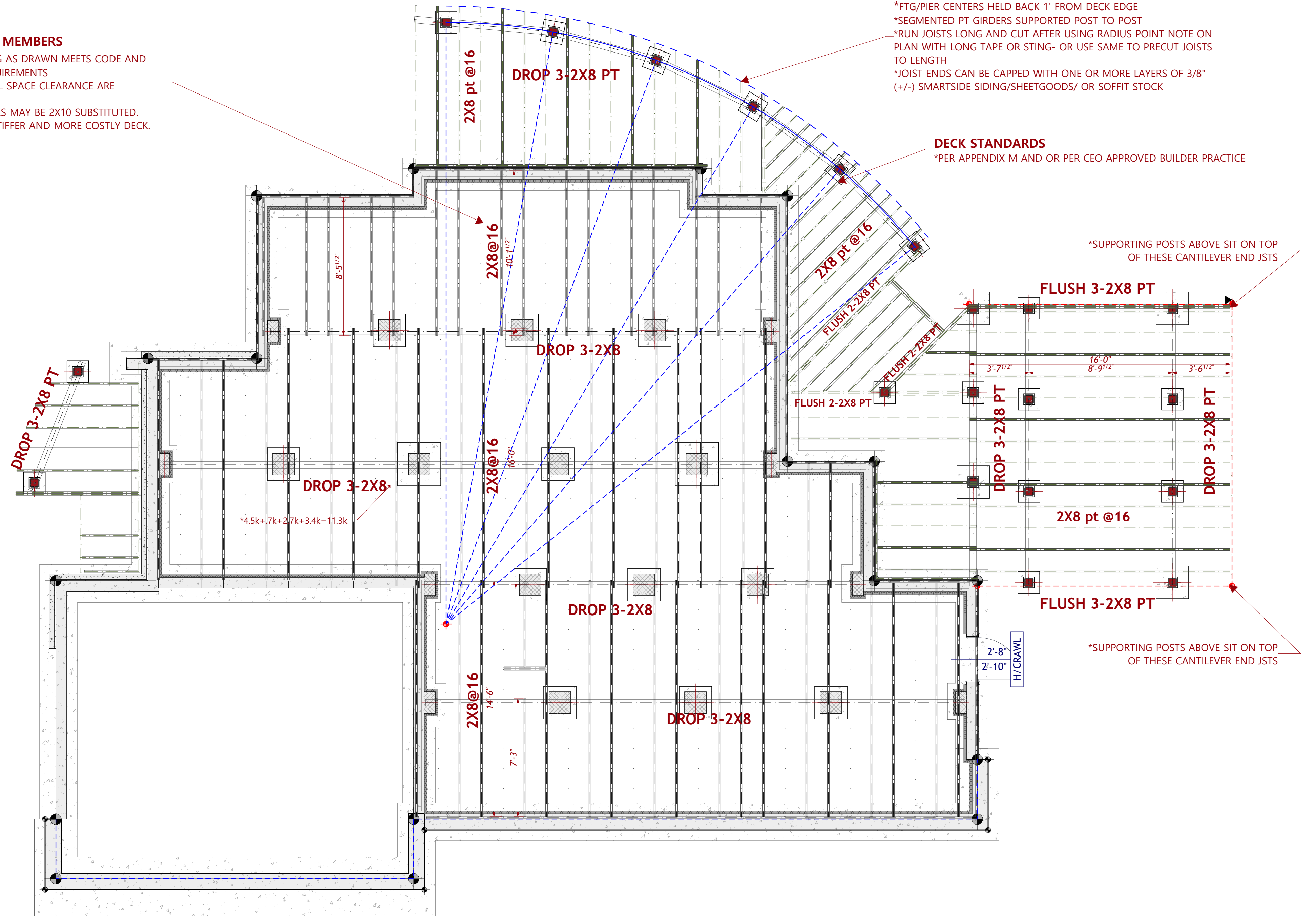
FDN LEVEL main floor framing 2



FDN LEVEL main floor framing 1

**2X8 FRAMING MEMBERS**

\*ALL 2X8 FRAMING AS DRAWN MEETS CODE AND STRUCTURAL REQUIREMENTS  
\*COST AND CRAWL SPACE CLEARANCE ARE CONSIDERATIONS  
\*ANY/ALL MEMBERS MAY BE 2X10 SUBSTITUTED, RESULTING IN A STIFFER AND MORE COSTLY DECK.



FDN LEVEL main floor framing

1/4" = 1'-0"



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1. 6/09/2021 BUDGET SET  
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3. X.X.X  
4. X.X.X  
5. X.X.X

**DRAWINGS THIS SHEET:**  
MAIN LEVEL walls+dimensions

**C.5**

**GENERAL**

\*DIMENSIONS/EXTERIOR TO FACE OF FRAMING MEMBERS. OSB AND SIDING ARE OUTSIDE CONTROL DIMENSIONS.  
\*DIMENSIONS/INTERIOR TO FACE OF FRAMING MEMBERS.  
\*FRAME WALLS/EXTERIOR CONSTRUCTION 2X6, OSB EXTERIOR SHEATHING. CENTERS AND INSULATION AS SELECTED.  
\*FRAME WALLS/INTERIOR CONSTRUCTION 2X4, 1/2" FINISH MATERIAL TYPICAL. CENTERS AND CONDITION SPECIFIC INSULATION AS SELECTED.  
\*FRAME WALLS/HEIGHT 9'-1" BASE CEILING HT. SEE SECTIONS  
\*STAIRS\_CODE REFERENCE R311 MEANS OF EGRESS AND R311.7 STAIRWAYS. REQUIREMENTS ARE EXTENSIVE AND SPECIFIC  
\*DOOR SYMBOLS-SIZES ARE PRESENTED ON PLANS WITH SYMBOL (SEE BELOW) AND DOOR PANEL WIDTH OVER DOOR PANEL HT. EXCEPTION: PATIO STYLE HINGED OR SLIDING EXTERIOR GLASS DOORS ARE NOTED BY UNIT SIZE WIDTH+HEIGHT-PER INDUSTRY STANDARDS.  
\*WINDOW SYMBOLS-SIZES ARE PRESENTED ON PLANS WITH SYMBOL (SEE BELOW) AND NOMINAL UNIT WIDTH OVER NOMINAL UNIT HT.  
\*EGRESS REQUIREMENTS ALL REQUIREMENTS SEE R310 AND R311. FOR WINDOW SPECIFIC EMERGENCY EXIT REQUIREMENTS SEE R310.1 AND R310.2.

**IDENTIFICATIONS**

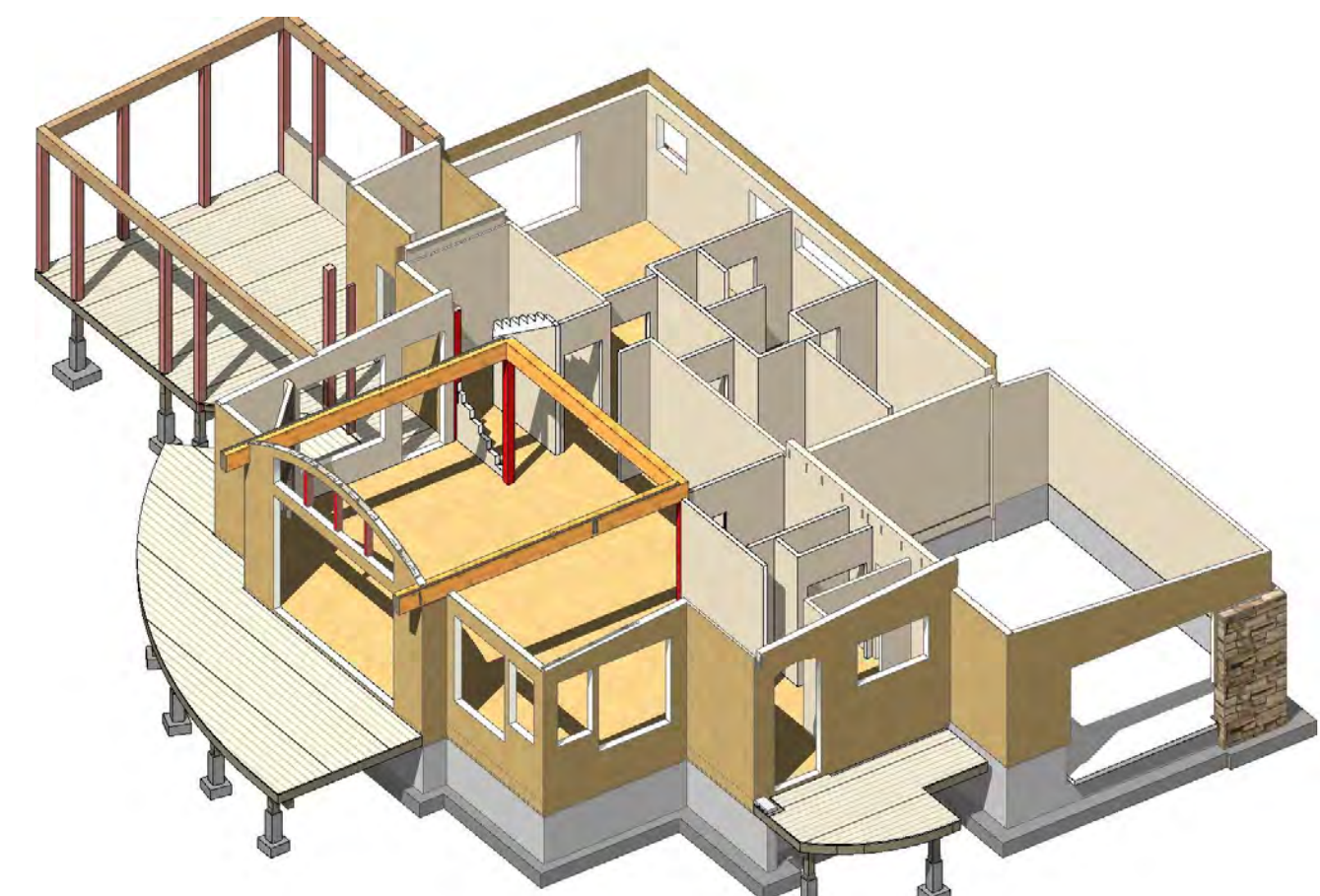
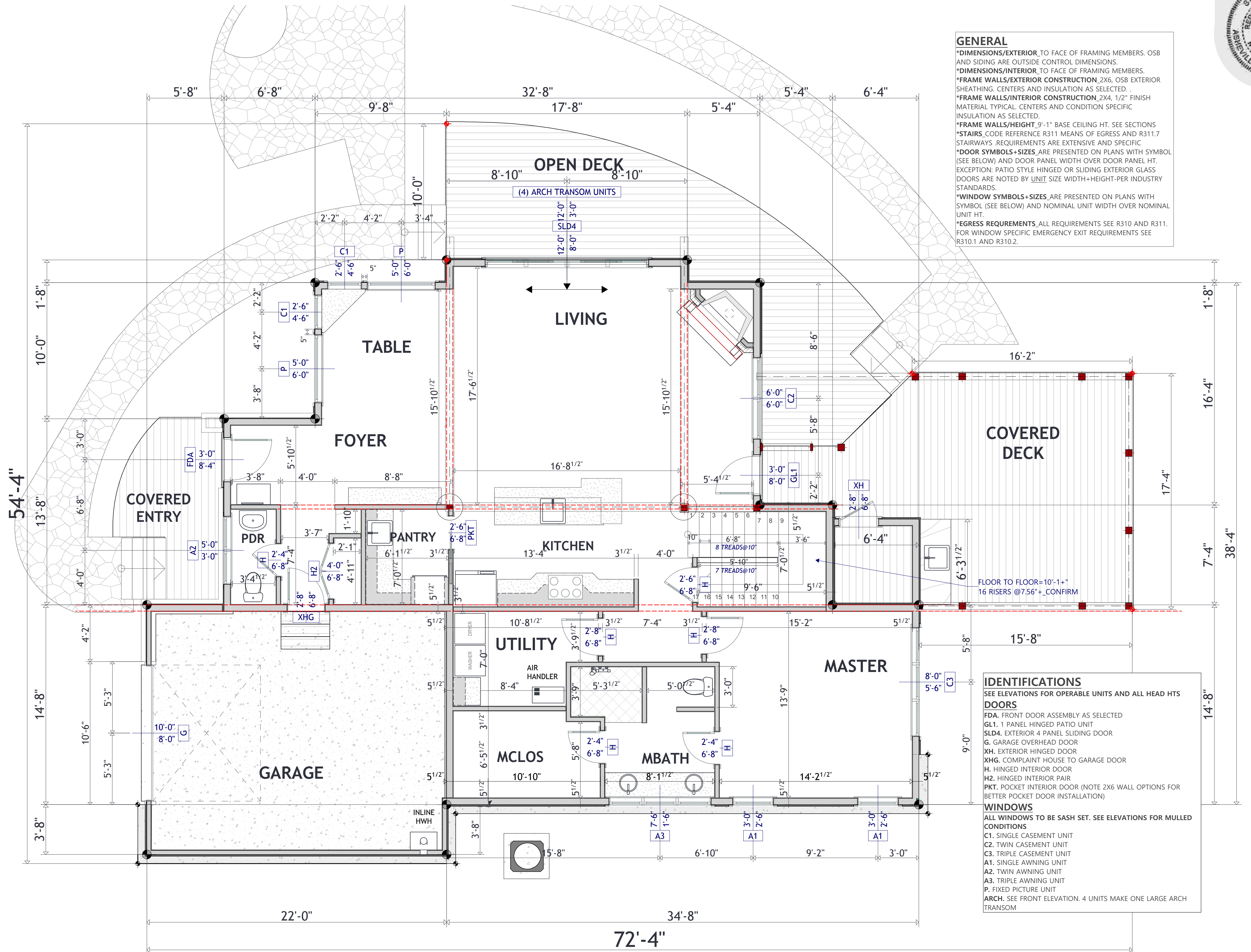
SEE ELEVATIONS FOR OPERABLE UNITS AND ALL HEAD HTS

**DOORS**

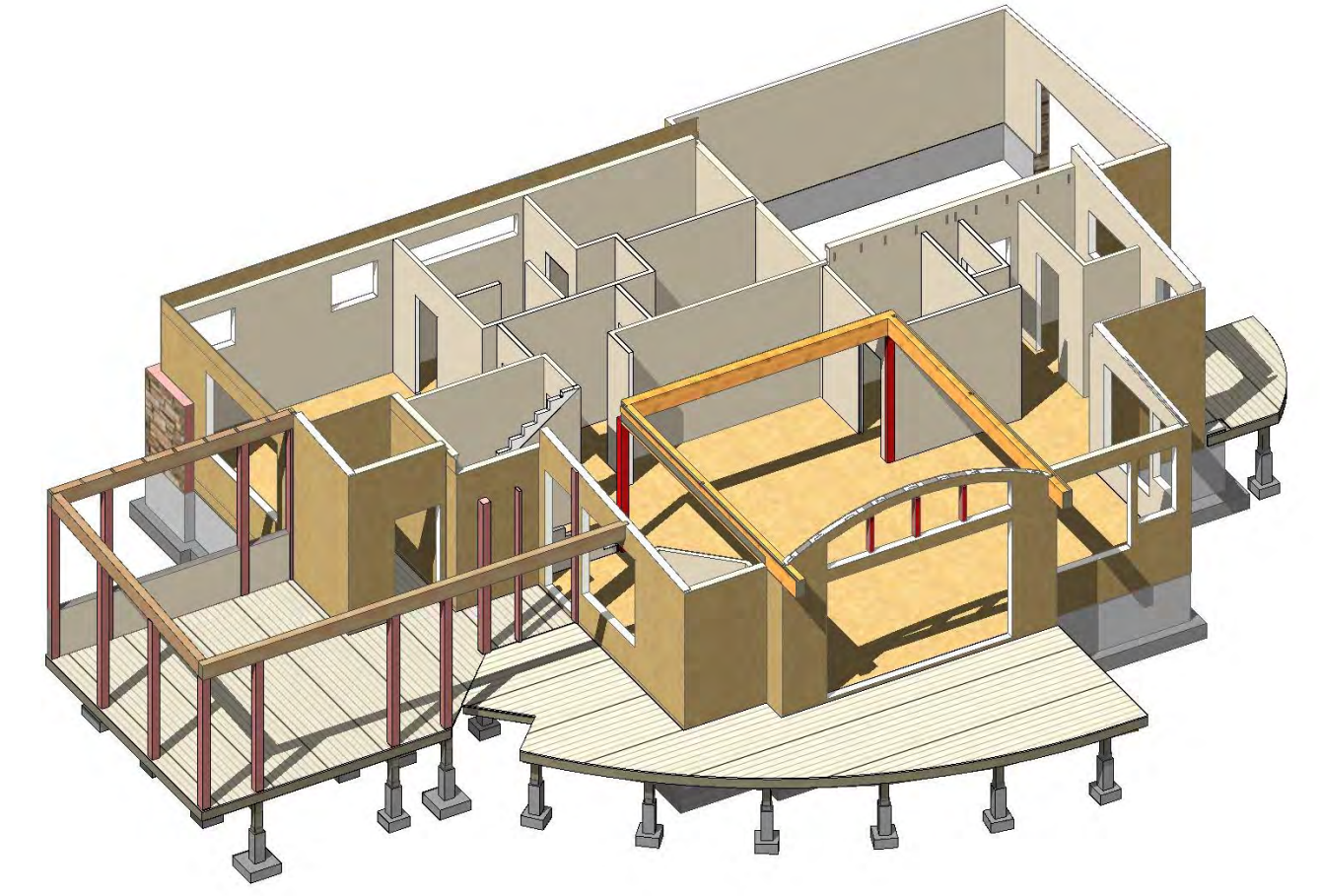
FDA. FRONT DOOR ASSEMBLY AS SELECTED  
GL1. 1 PANEL HINGED PATIO UNIT  
GLD4. EXTERIOR 4 PANEL SLIDING DOOR  
G. GARAGE OVERHEAD DOOR  
XH. EXTERIOR HINGED DOOR  
XHG. COMPLAINT HOUSE TO GARAGE DOOR  
H. HINGED INTERIOR DOOR  
H2. HINGED INTERIOR PAIR  
PKT. POCKET INTERIOR DOOR (NOTE 2X6 WALL OPTIONS FOR BETTER POCKET DOOR INSTALLATION)

**WINDOWS**

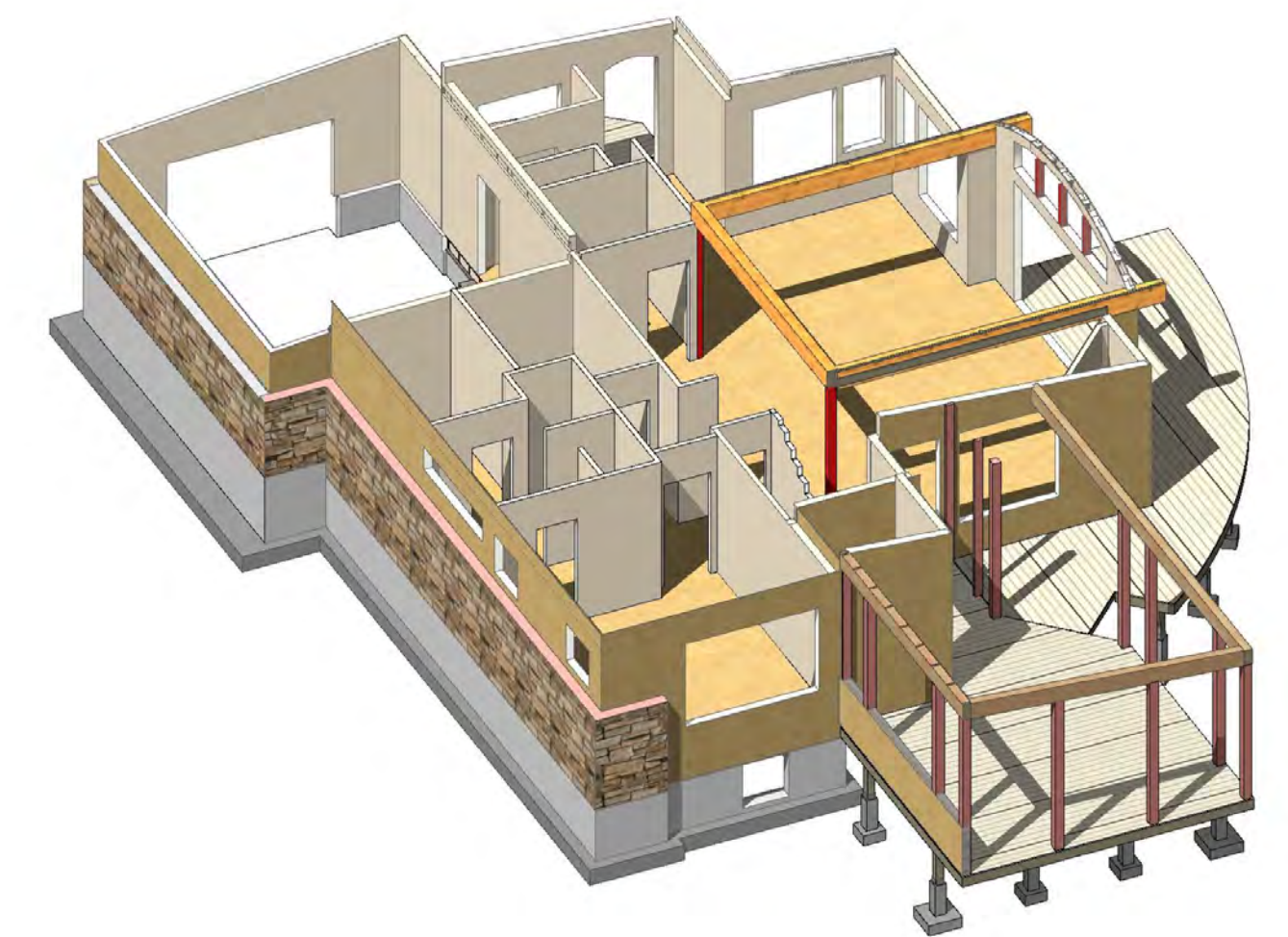
ALL WINDOWS TO BE SASH SET. SEE ELEVATIONS FOR MULLED CONDITIONS  
C1. SINGLE CASEMENT UNIT  
C2. TWIN CASEMENT UNIT  
C3. TRIPLE CASEMENT UNIT  
A1. SINGLE AWNING UNIT  
A2. TWIN AWNING UNIT  
A3. TRIPLE AWNING UNIT  
P. FIXED PICTURE UNIT  
ARCH. SEE FRONT ELEVATION. 4 UNITS MAKE ONE LARGE ARCH TRANSOM



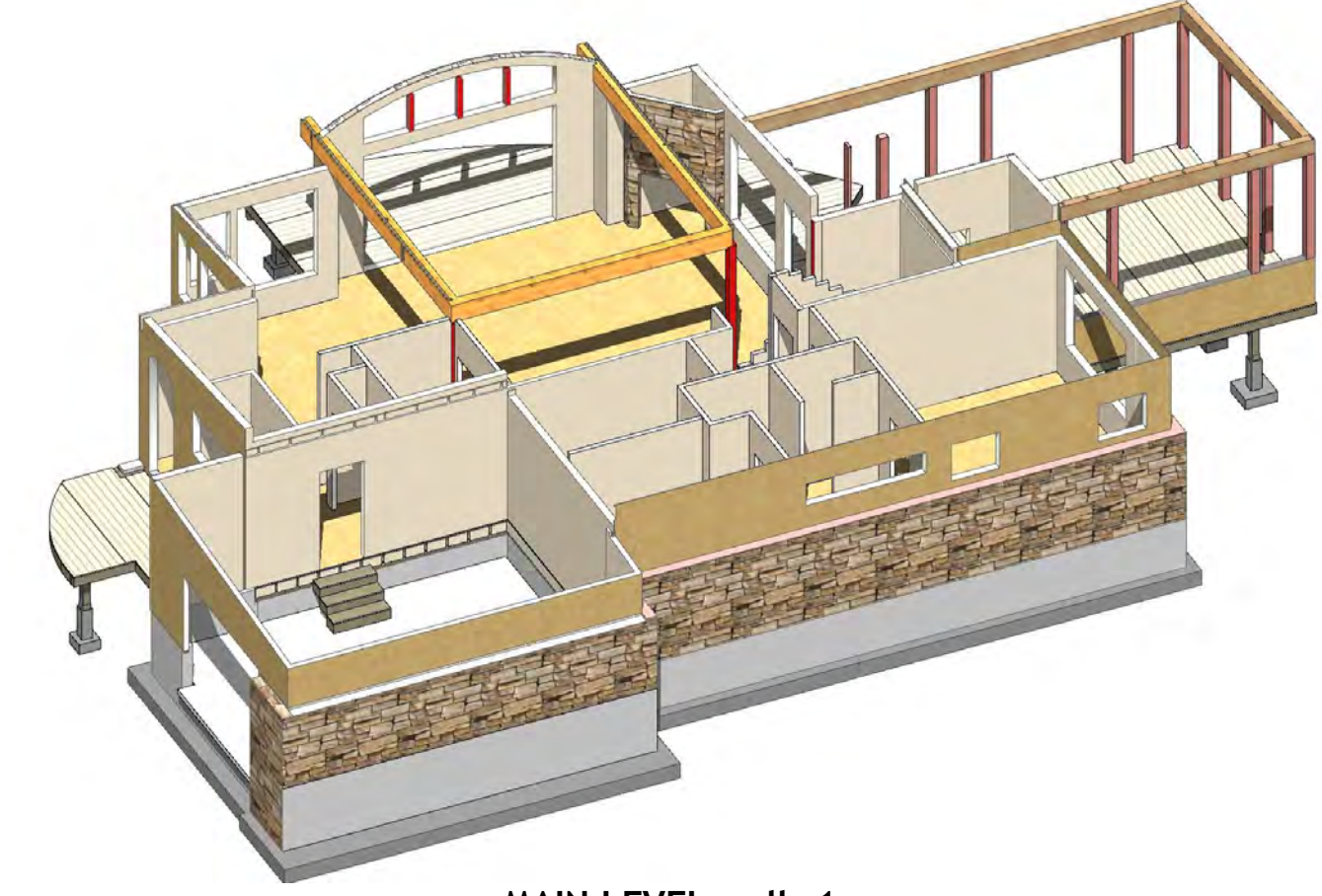
MAIN LEVEL walls 4



MAIN LEVEL walls 3



MAIN LEVEL walls 2



MAIN LEVEL walls 1

MAIN LEVEL

walls+dimensions

1/4" = 1'-0"



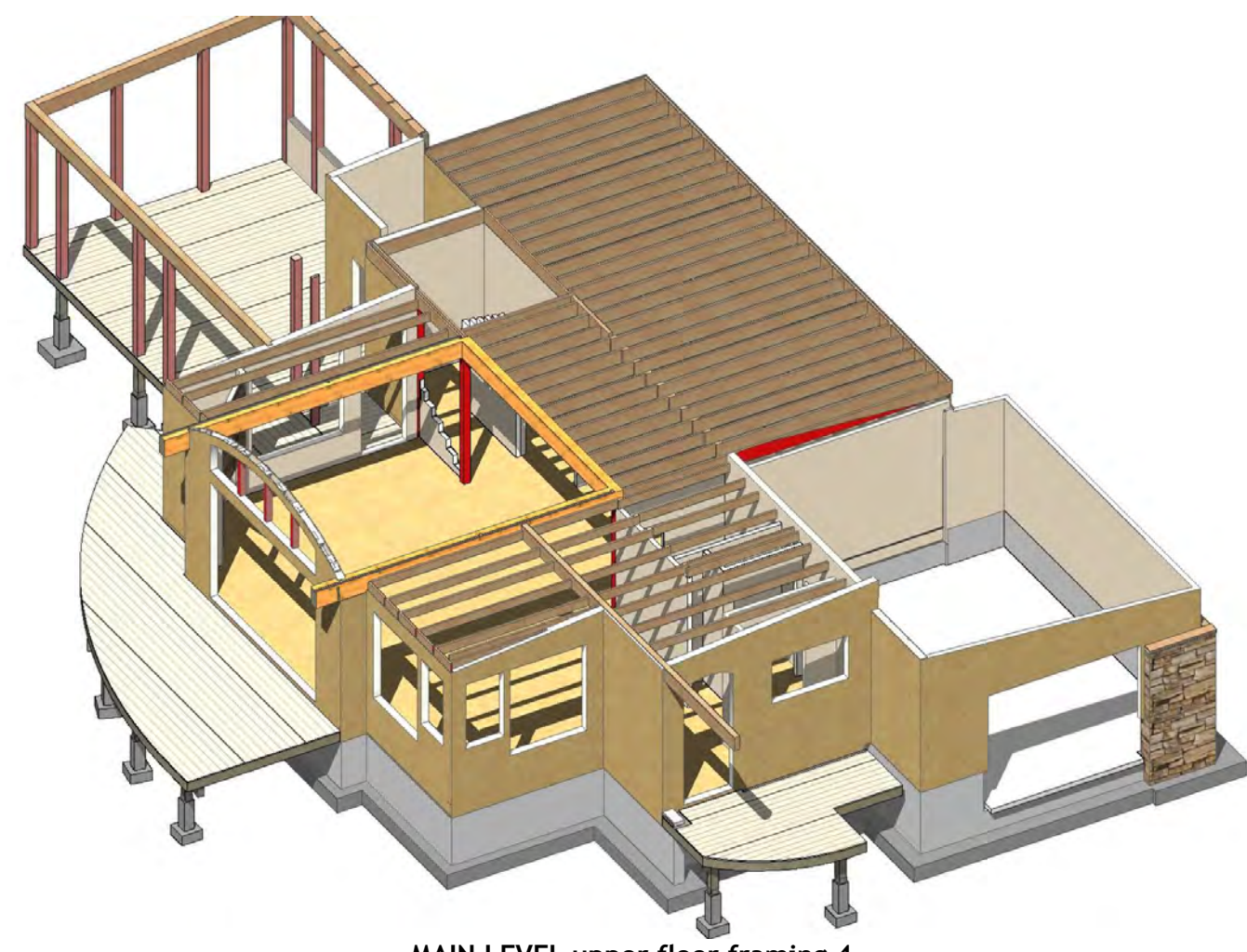
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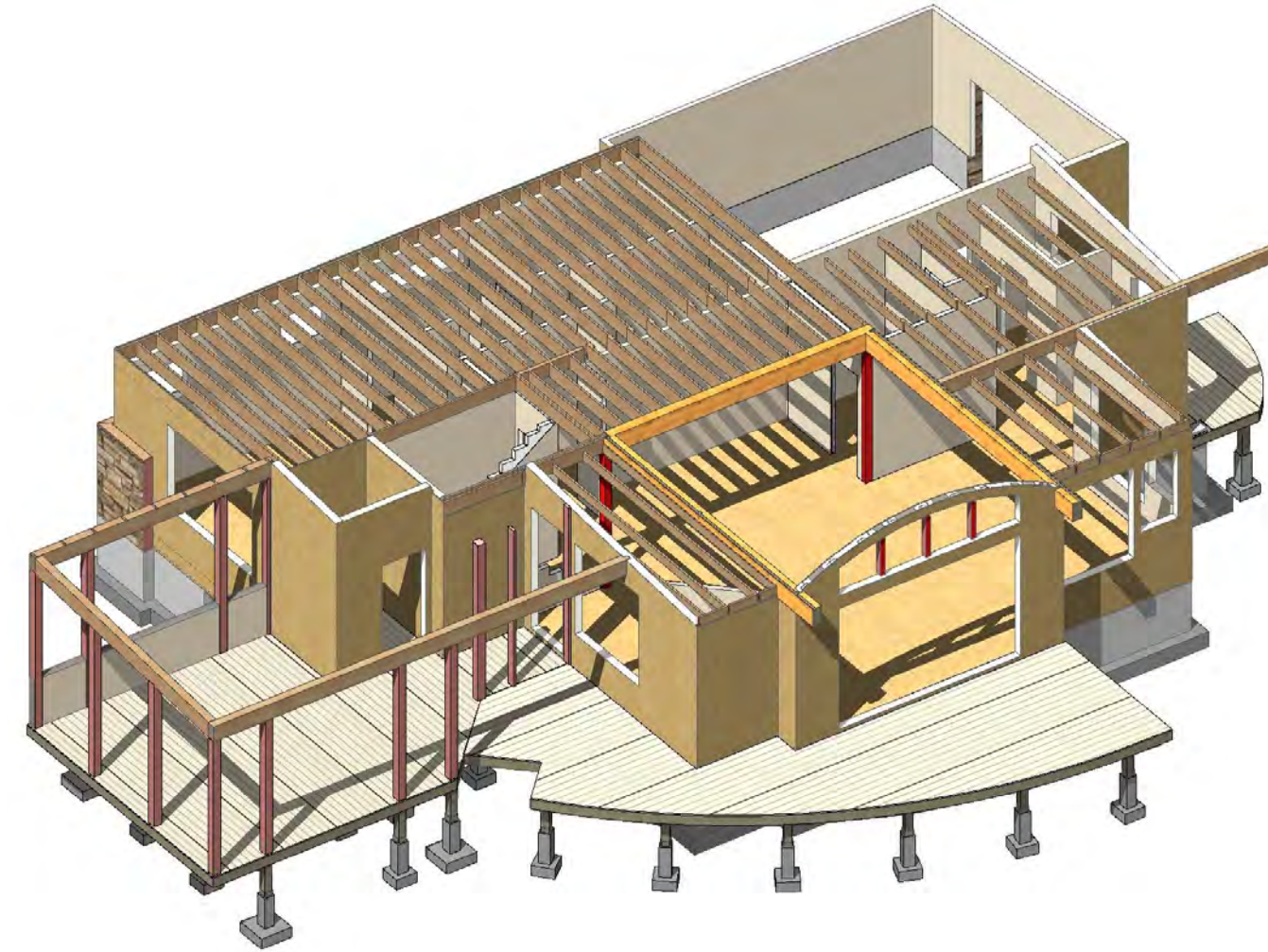
1. 6/09/2021 BUDGET SET  
2. 11/2/2021 PERMIT SET  
3. X.X.X  
4. X.X.X  
5. X.X.X

**DRAWINGS THIS SHEET:**  
UPPER LEVEL floor framing

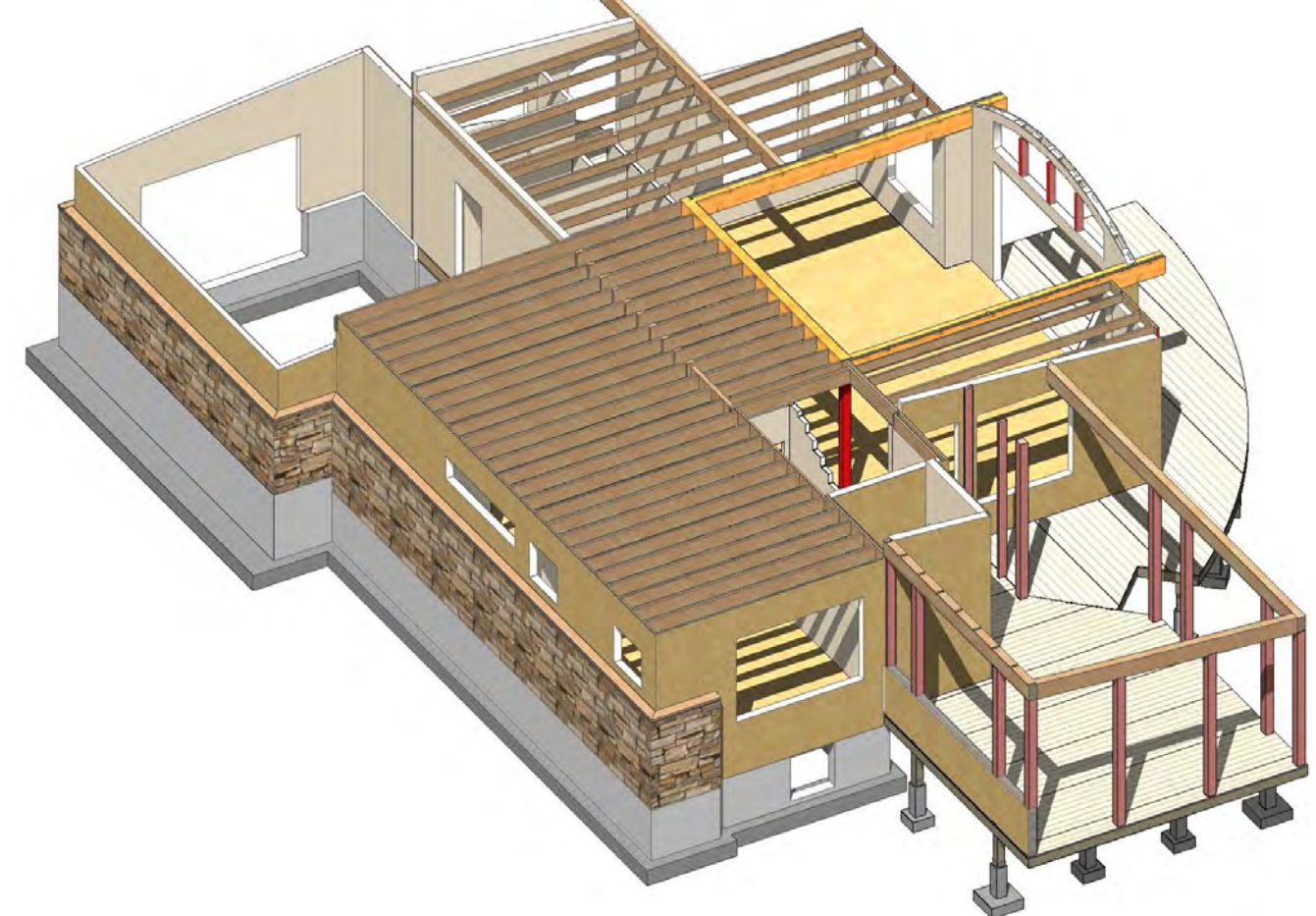
**C.6**



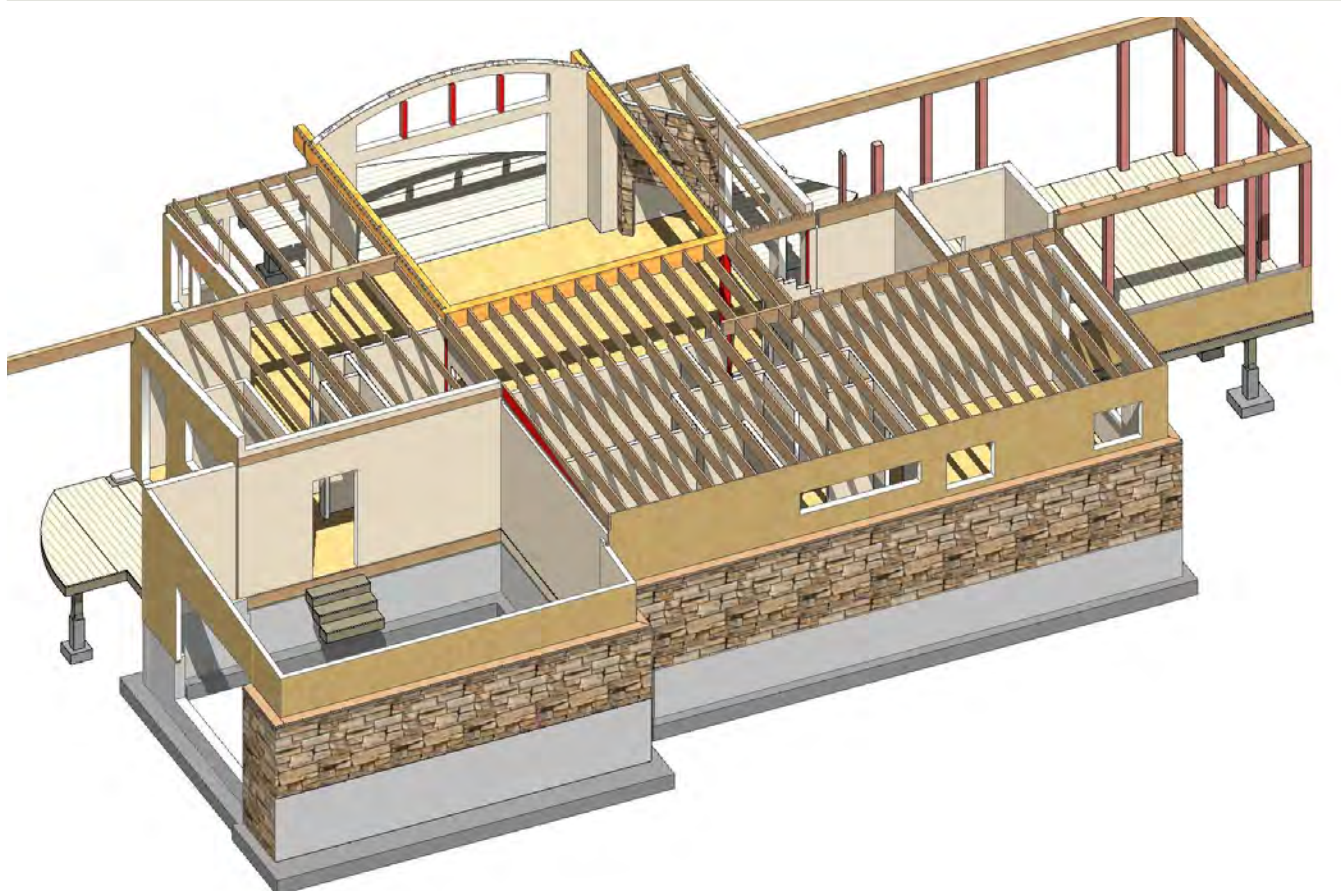
MAIN LEVEL upper floor framing 4



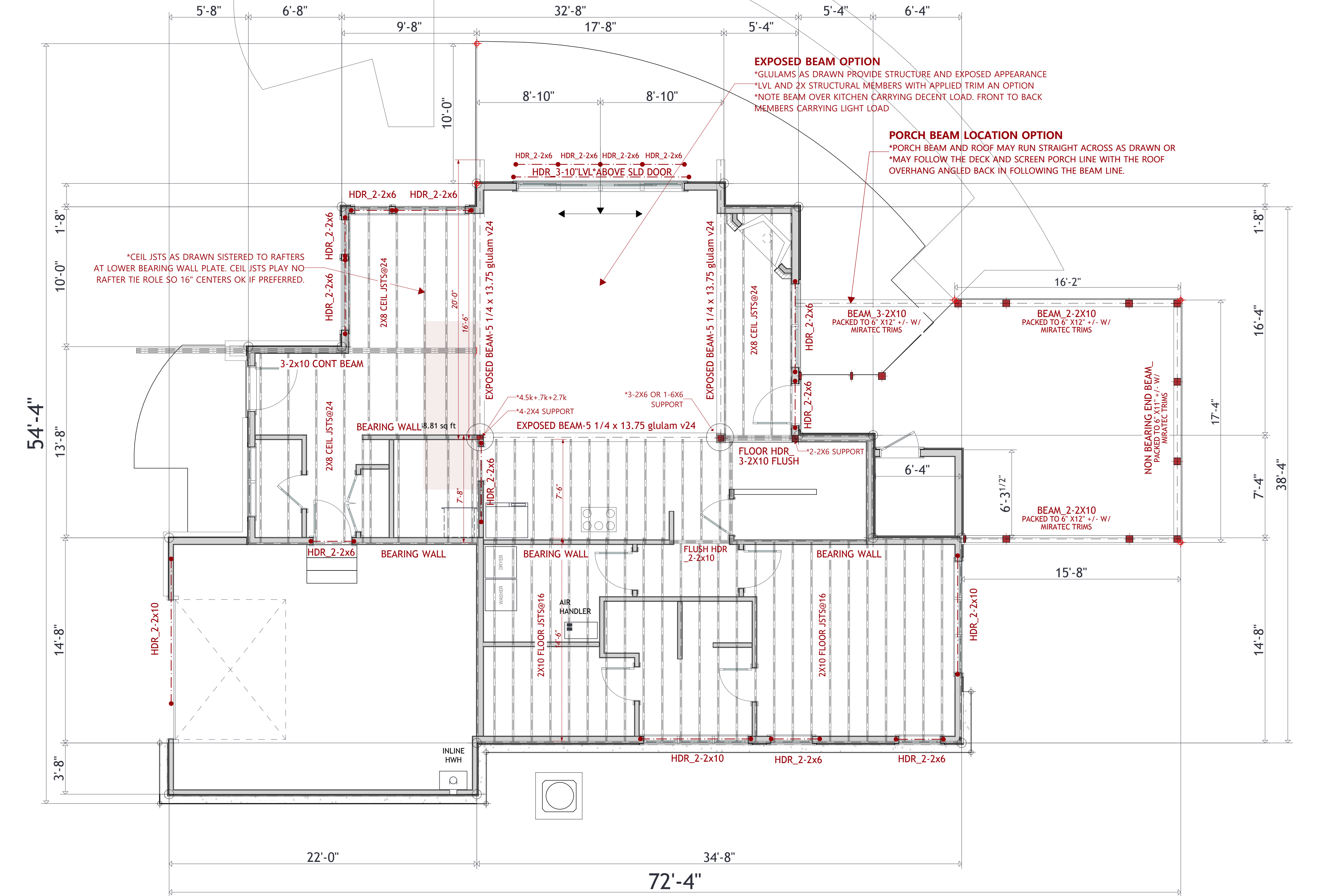
MAIN LEVEL upper floor framing 3



MAIN LEVEL upper floor framing 2



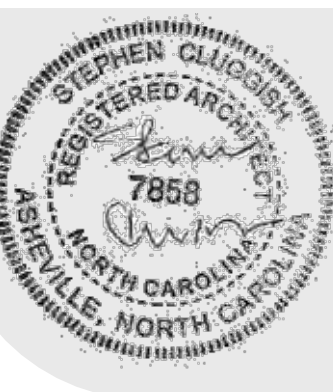
MAIN LEVEL upper floor framing 1



MAIN LEVEL

upper floor framing

1/4" = 1'-0"



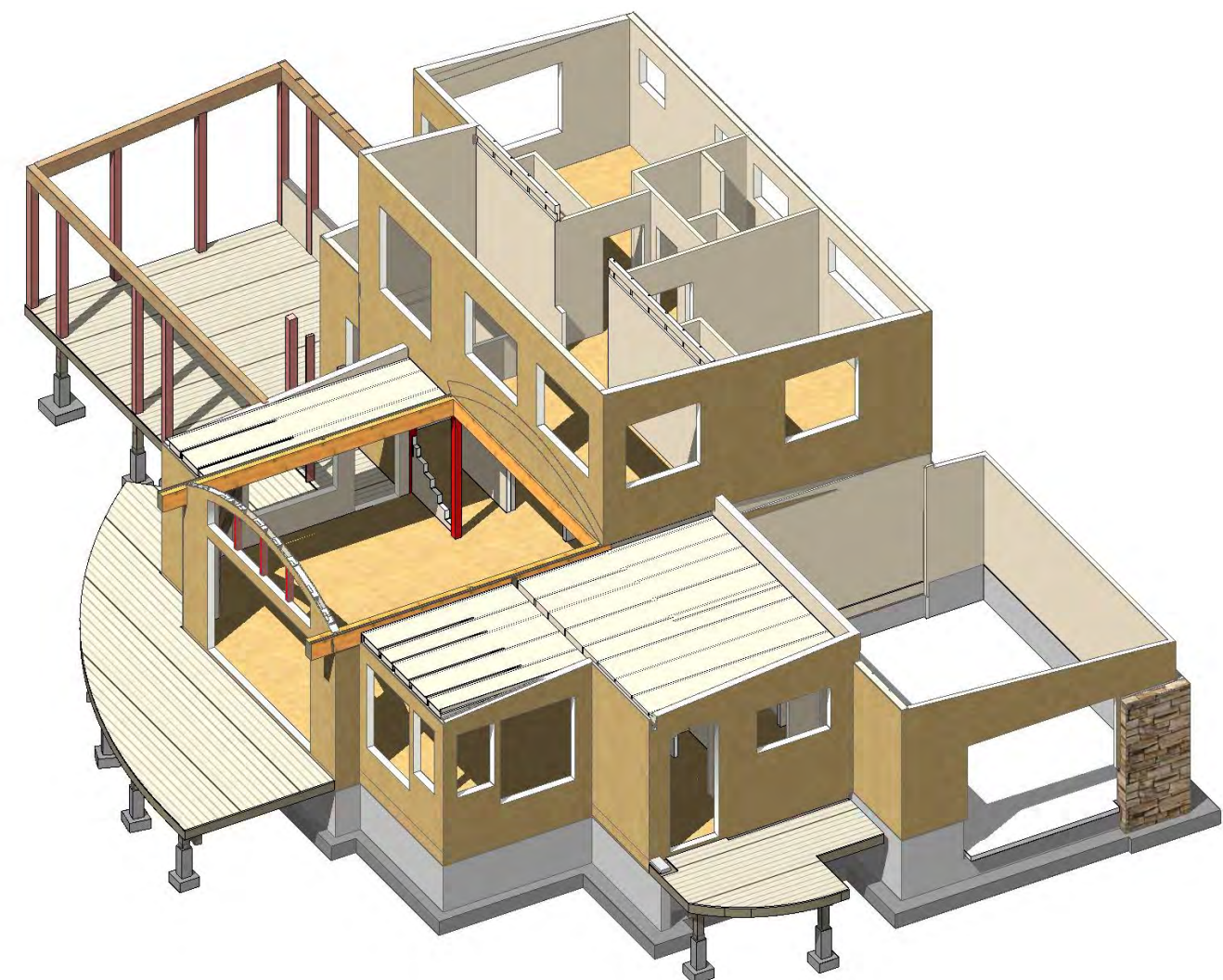
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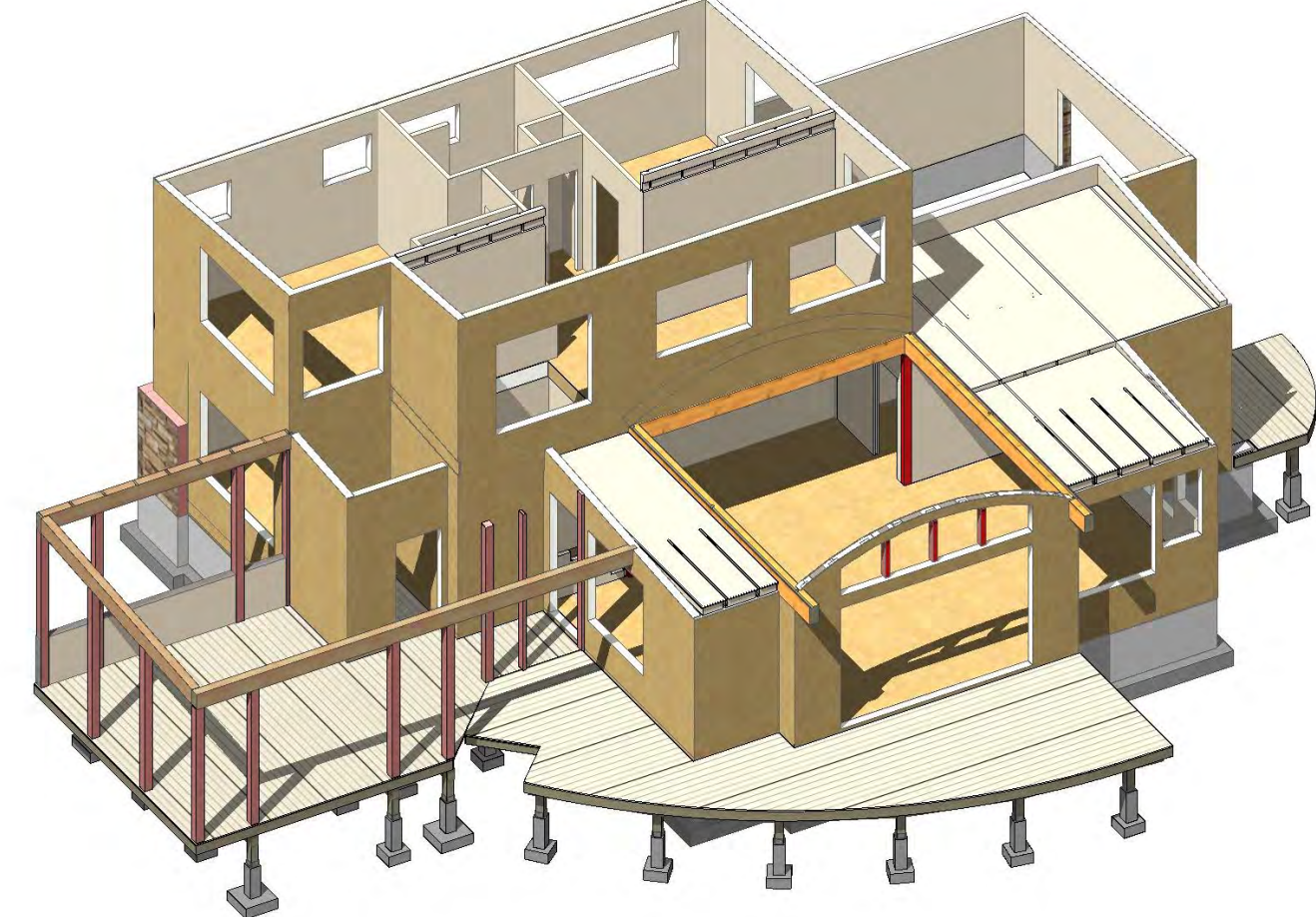
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2. 11/17/2021 PERMIT SET  
3. X.X.X  
4. X.X.X  
5. X.X.X

**DRAWINGS THIS SHEET:**  
UPPER LEVEL walls+dimensions

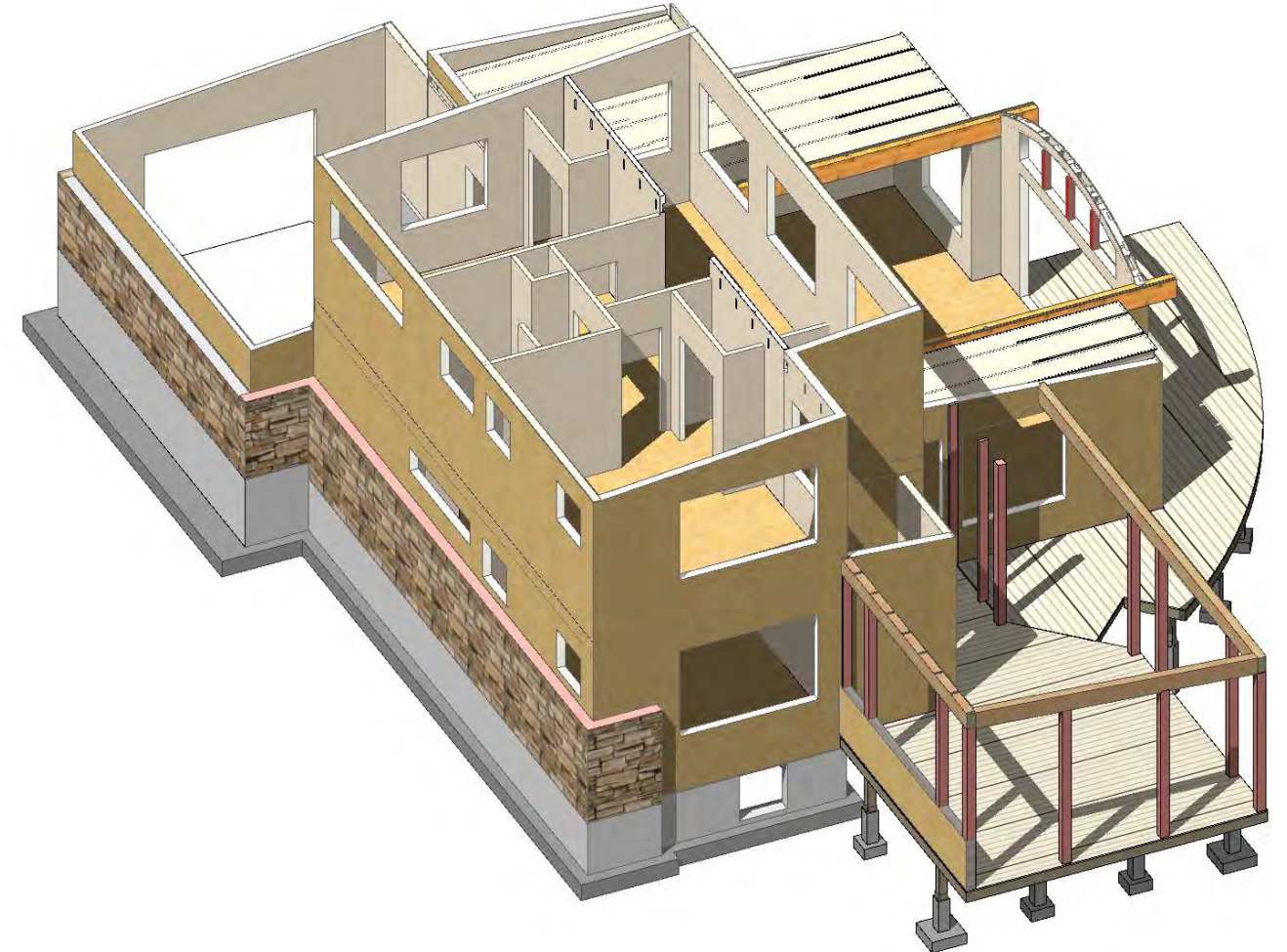
**C.7**



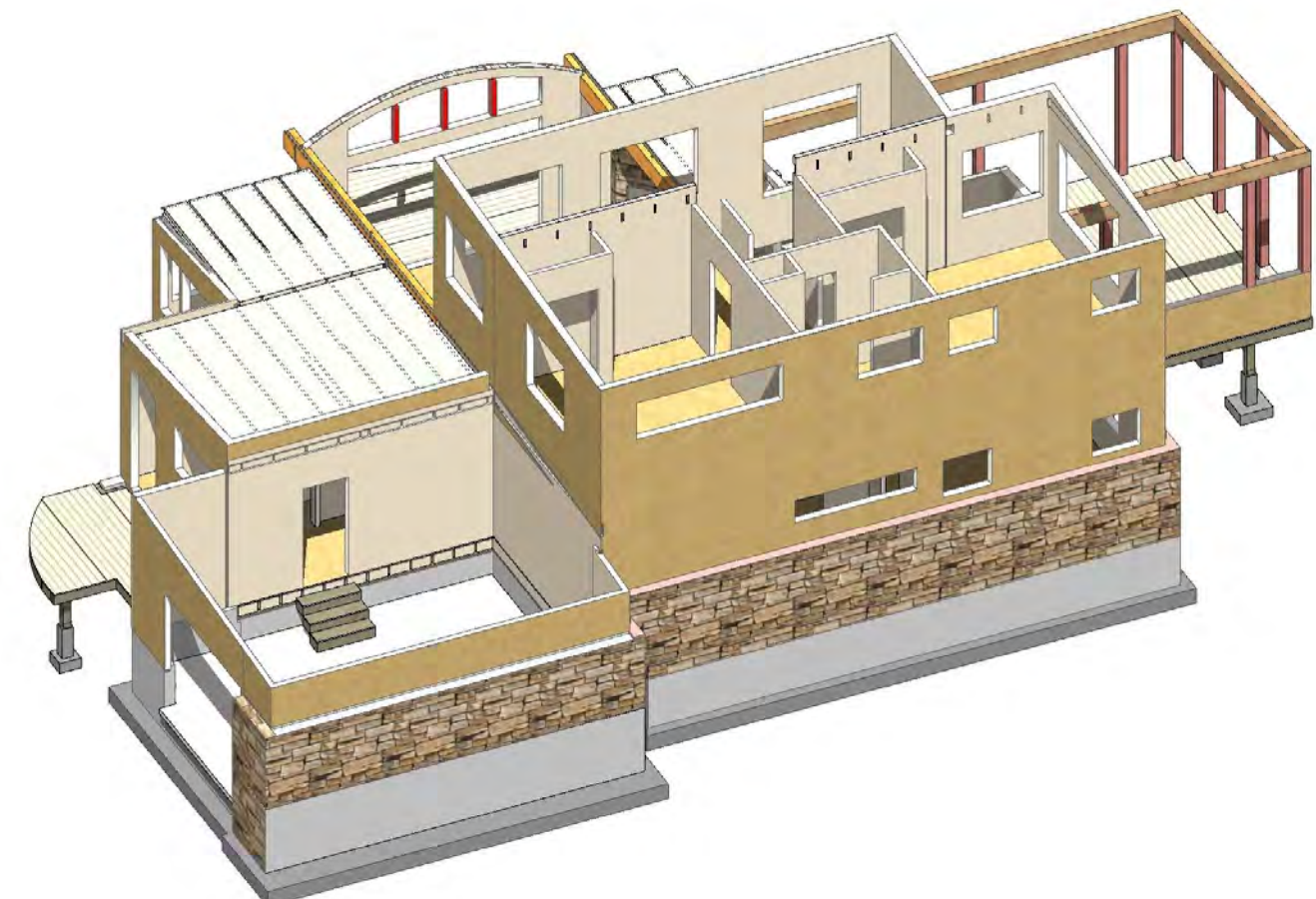
UPPER LEVEL walls 4



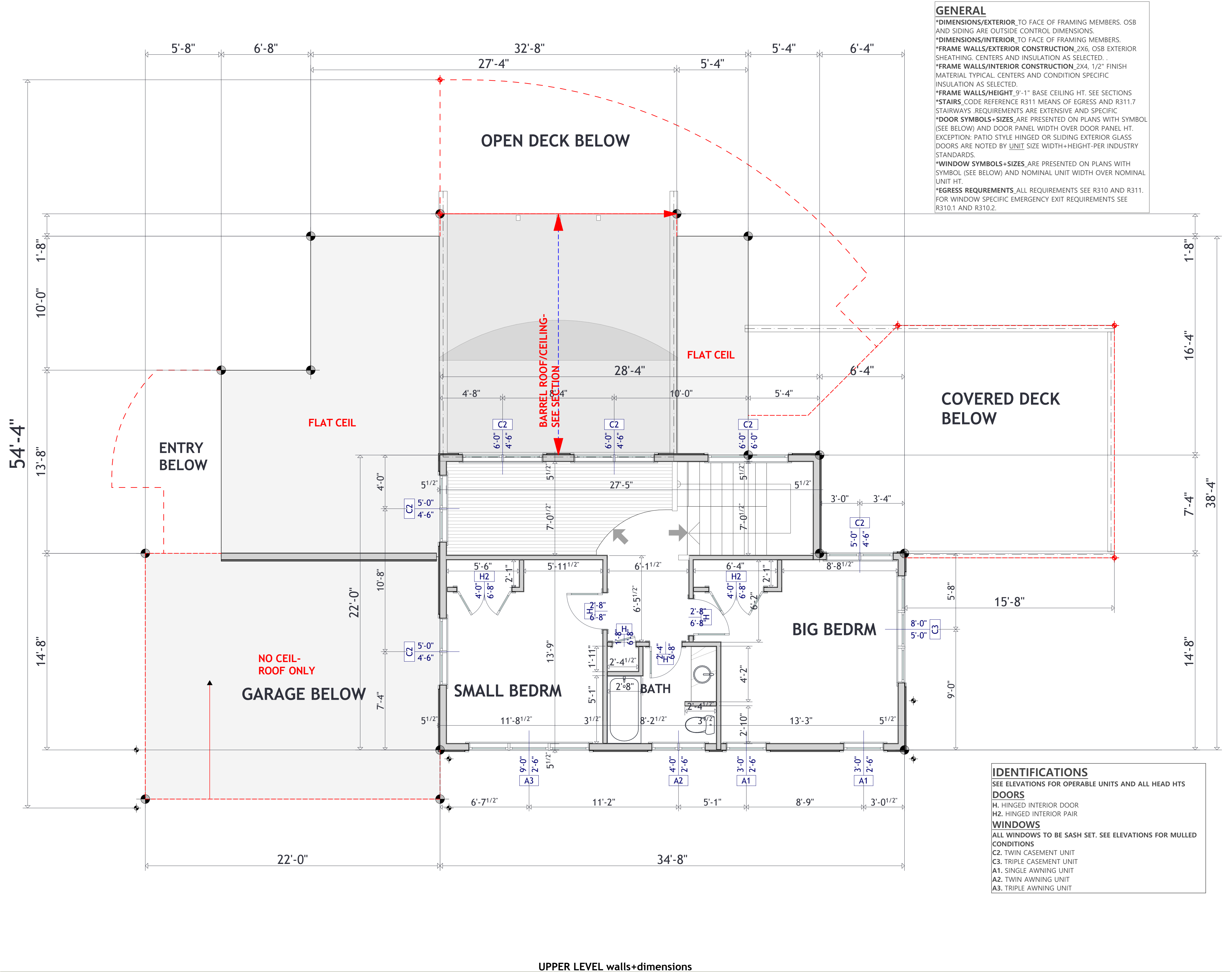
UPPER LEVEL walls 3



UPPER LEVEL walls 2

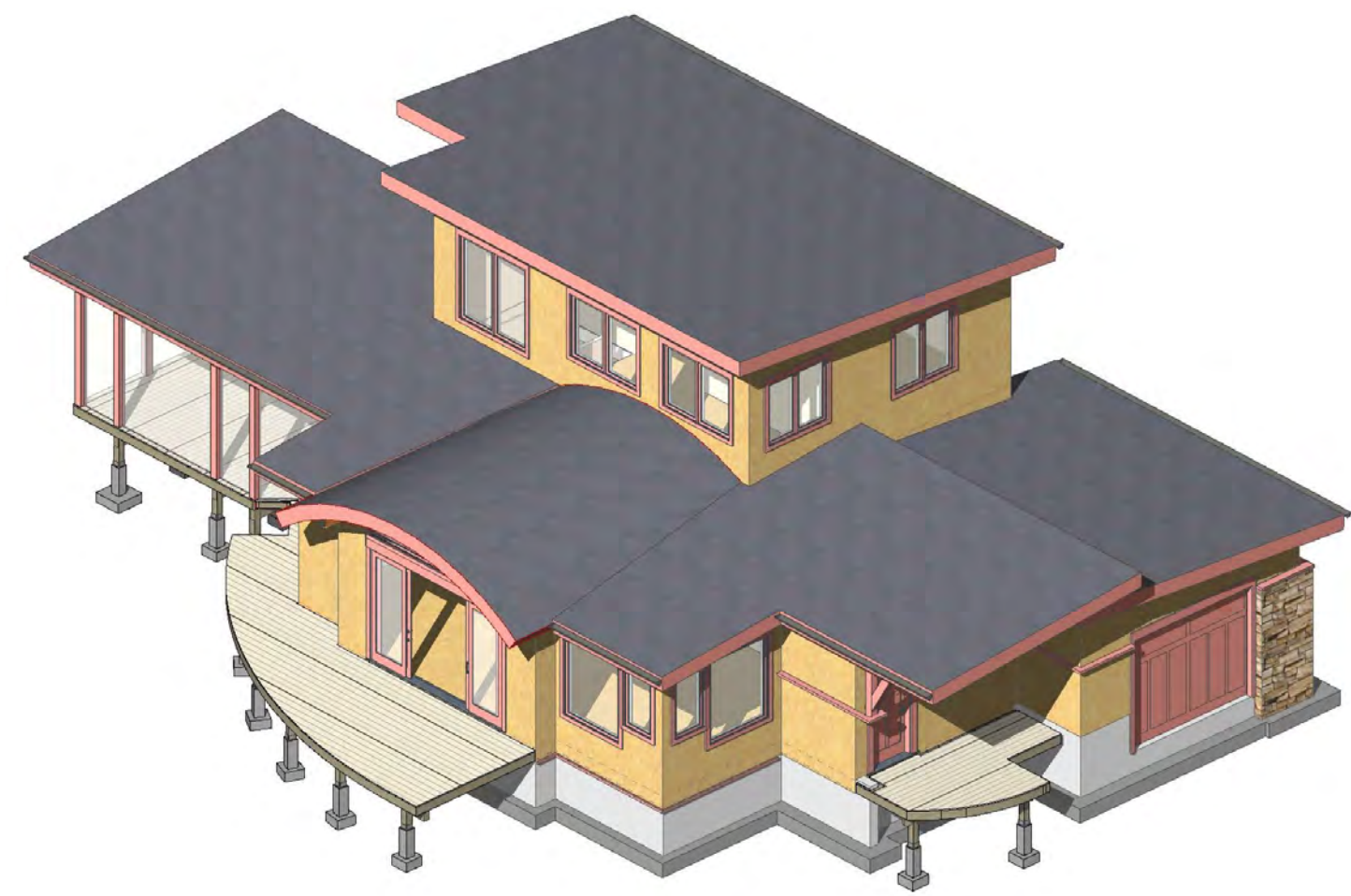


UPPER LEVEL walls 1

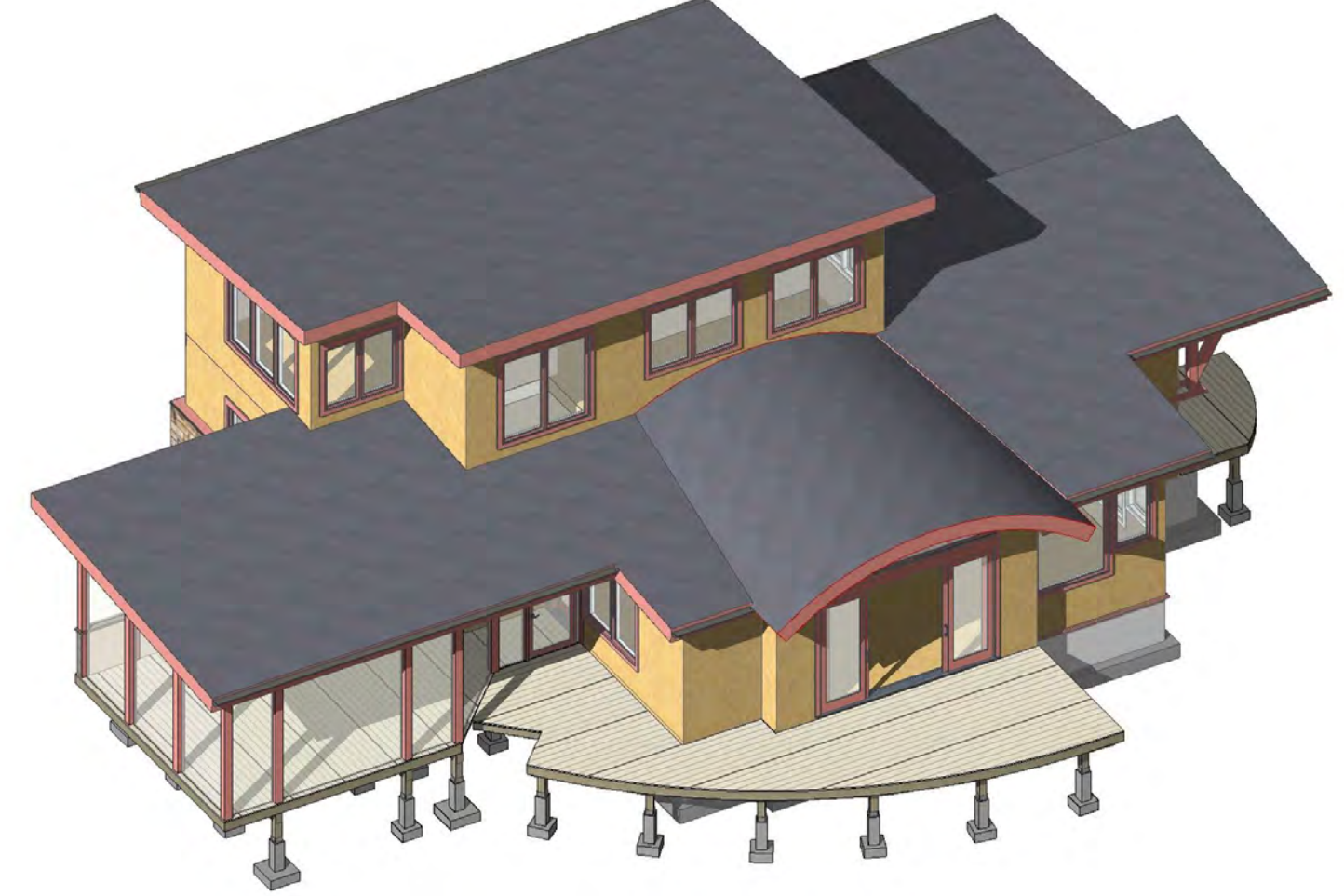


**GENERAL**  
 \*DIMENSIONS/EXTERIOR TO FACE OF FRAMING MEMBERS. OSB AND SIDING ARE OUTSIDE CONTROL DIMENSIONS.  
 \*DIMENSIONS/INTERIOR TO FACE OF FRAMING MEMBERS.  
 \*FRAME WALLS/EXTERIOR CONSTRUCTION\_2X6, OSB EXTERIOR SHEATHING. CENTERS AND INSULATION AS SELECTED.  
 \*FRAME WALLS/INTERIOR CONSTRUCTION\_2X4, 1/2" FINISH MATERIAL TYPICAL. CENTERS AND CONDITION SPECIFIC INSULATION AS SELECTED.  
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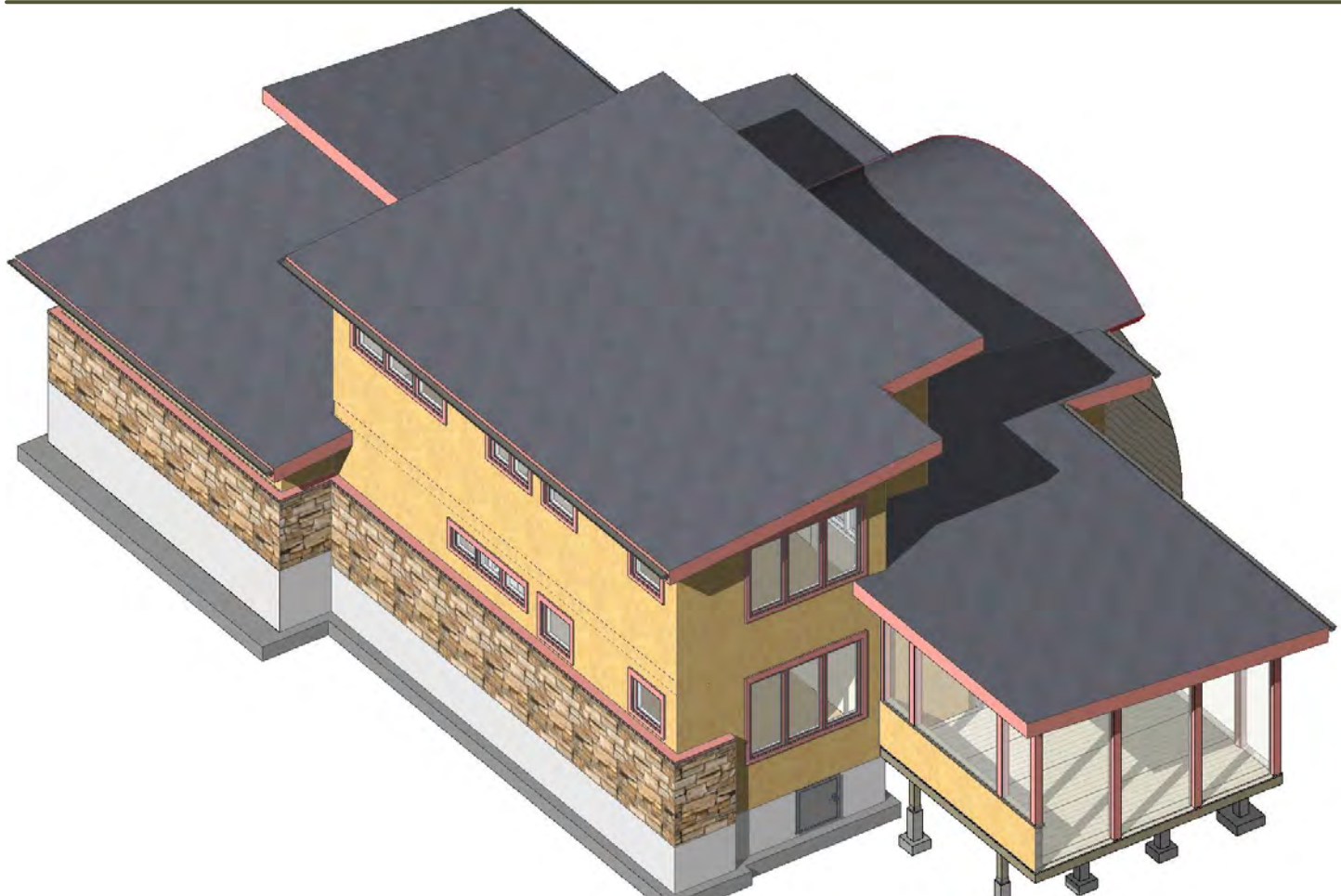
**IDENTIFICATIONS**  
 SEE ELEVATIONS FOR OPERABLE UNITS AND ALL HEAD HTS  
**DOORS**  
 H. HINGED INTERIOR DOOR  
 H2. HINGED INTERIOR PAIR  
**WINDOWS**  
 ALL WINDOWS TO BE SASH SET. SEE ELEVATIONS FOR MULLED CONDITIONS  
 C2. TWIN CASEMENT UNIT  
 C3. TRIPLE CASEMENT UNIT  
 A1. SINGLE AWNING UNIT  
 A2. TWIN AWNING UNIT  
 A3. TRIPLE AWNING UNIT



ROOF LEVEL shell 4



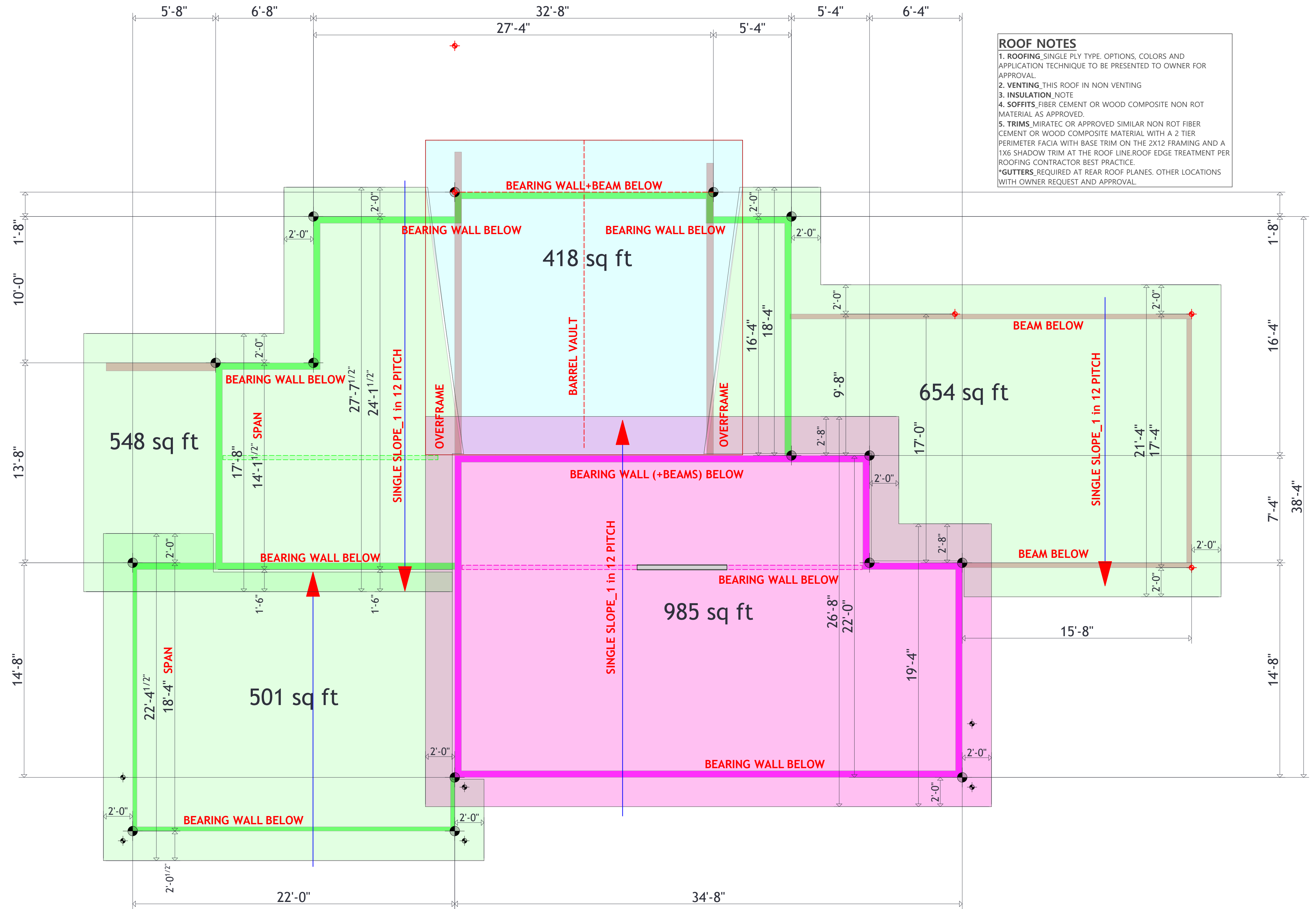
ROOF LEVEL shell 3



ROOF LEVEL shell 2



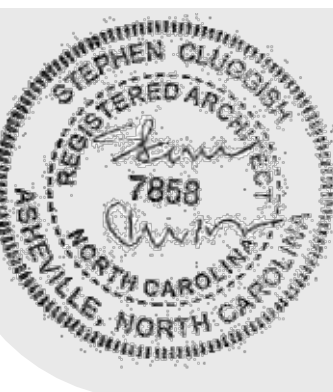
ROOF LEVEL shell 1



ROOF LEVEL

layout

1/4" = 1'-0"



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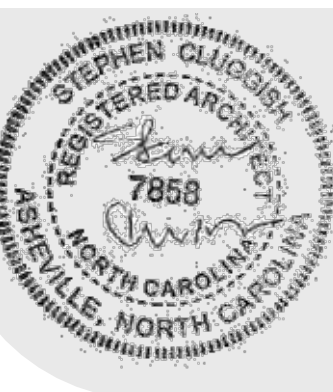
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Off State Rt 63 Madison Co

1. 6/09/2021 BUDGET SET  
2. 11/27/2021 PERMIT SET  
3. X.X.X  
4. X.X.X  
5. X.X.X

**DRAWINGS THIS SHEET:**  
ROOF LAYOUT

**C.8**





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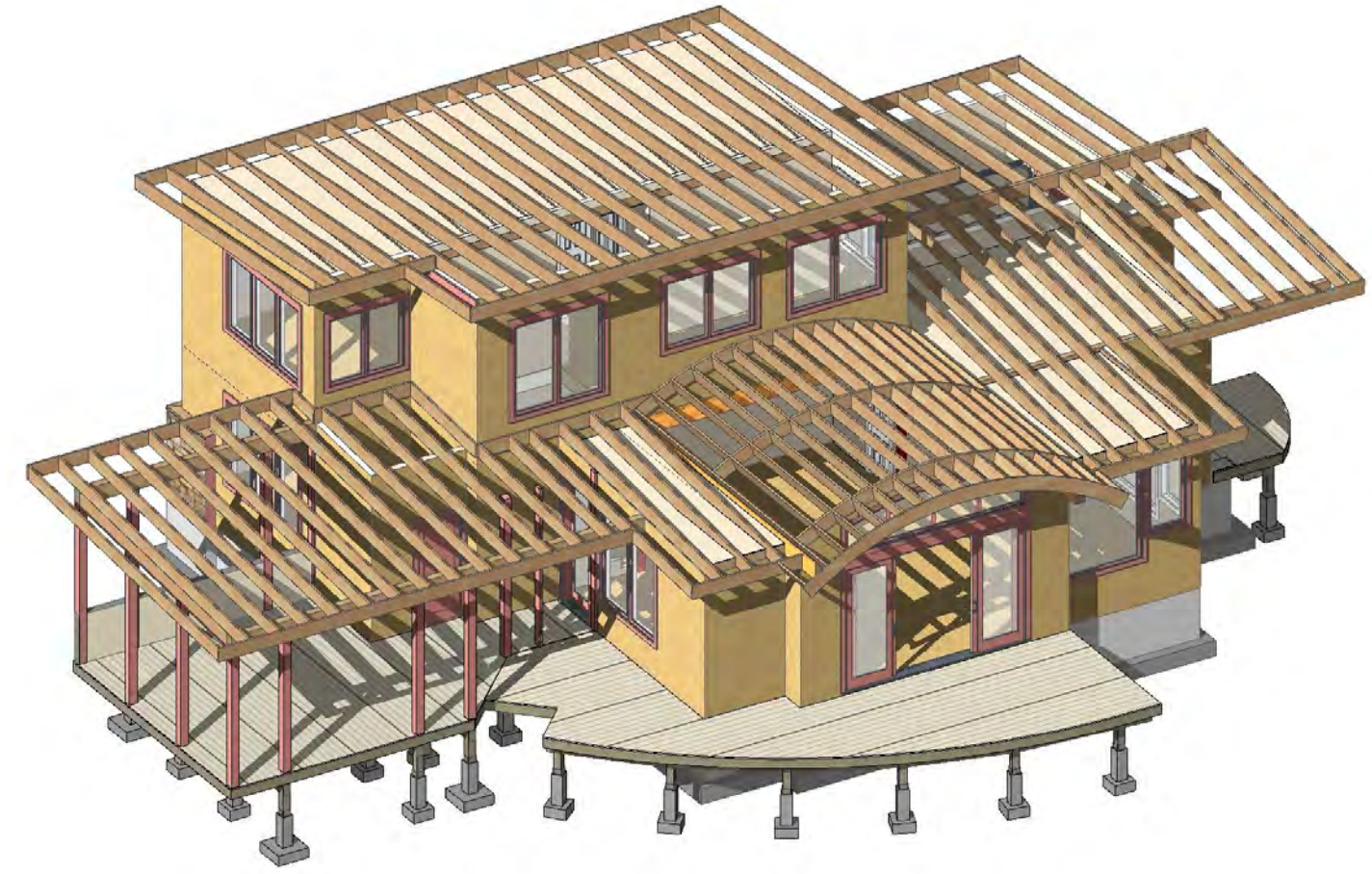
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2. 11/17/2021 PERMIT SET  
3. X.X.X.X  
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5. X.X.X.X

**DRAWINGS THIS SHEET:**  
ROOF FRAMING

**C.9**



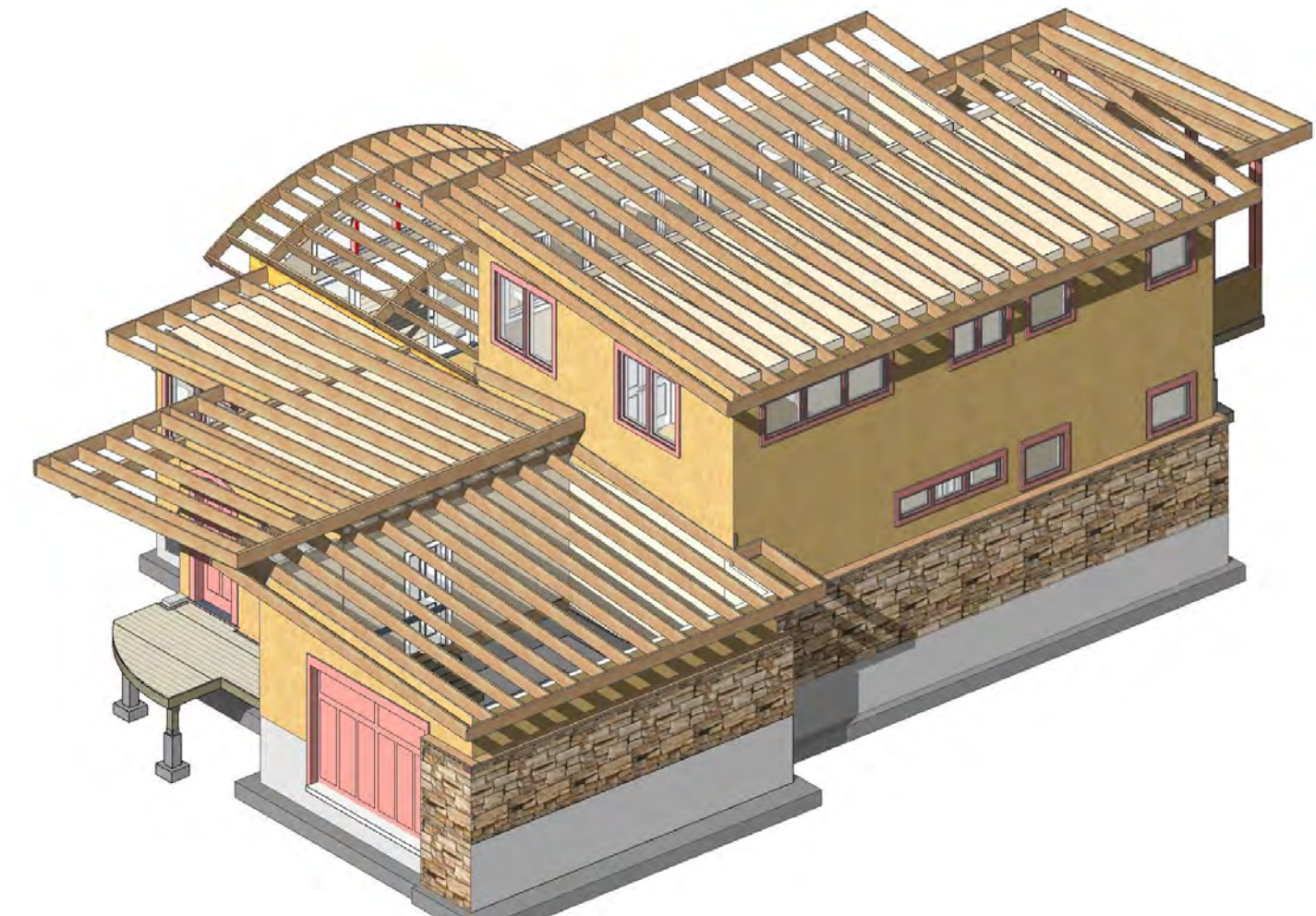
ROOF framing 4



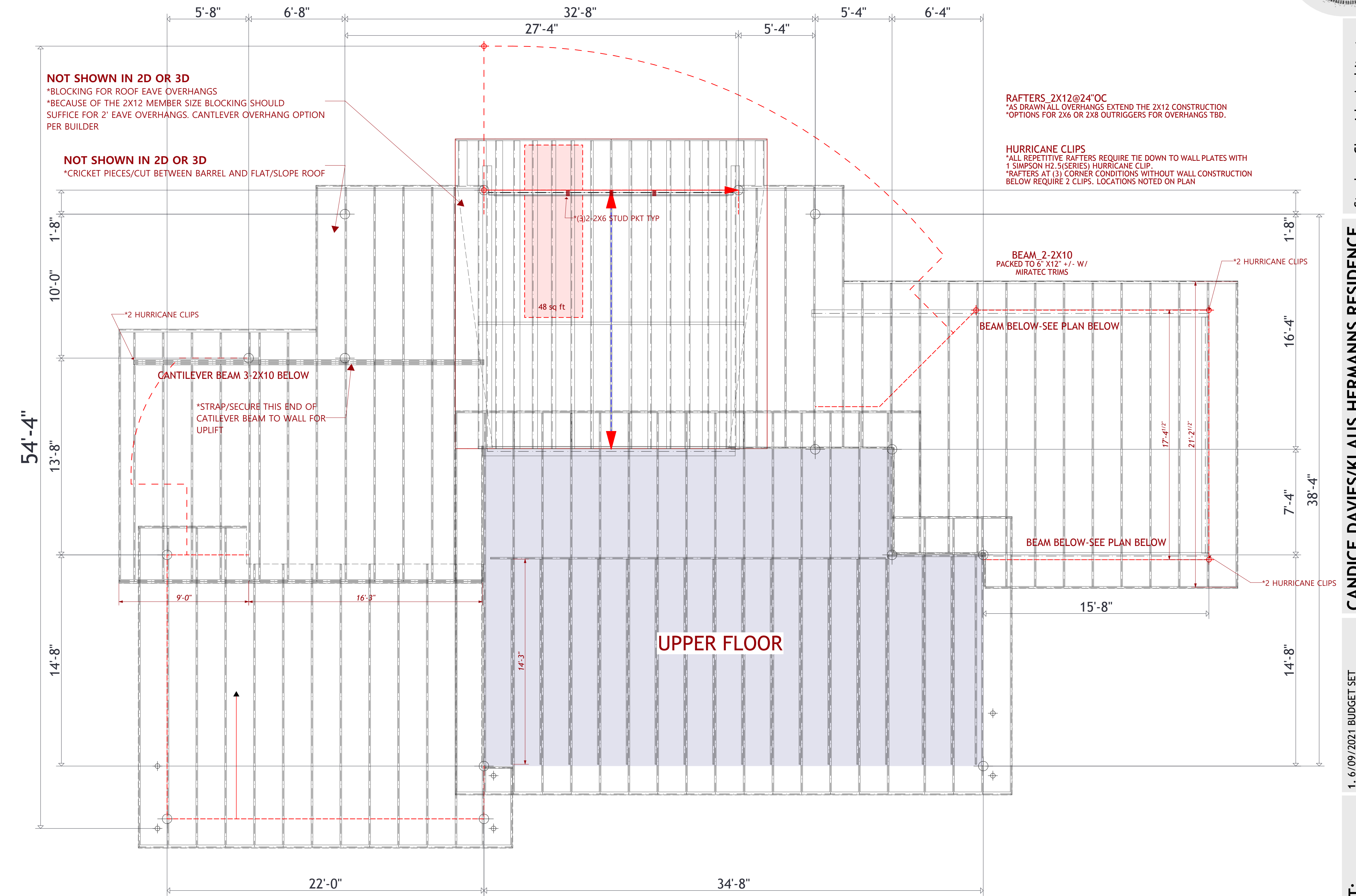
ROOF framing 3



ROOF framing 2



ROOF framing 1



ROOF

framing

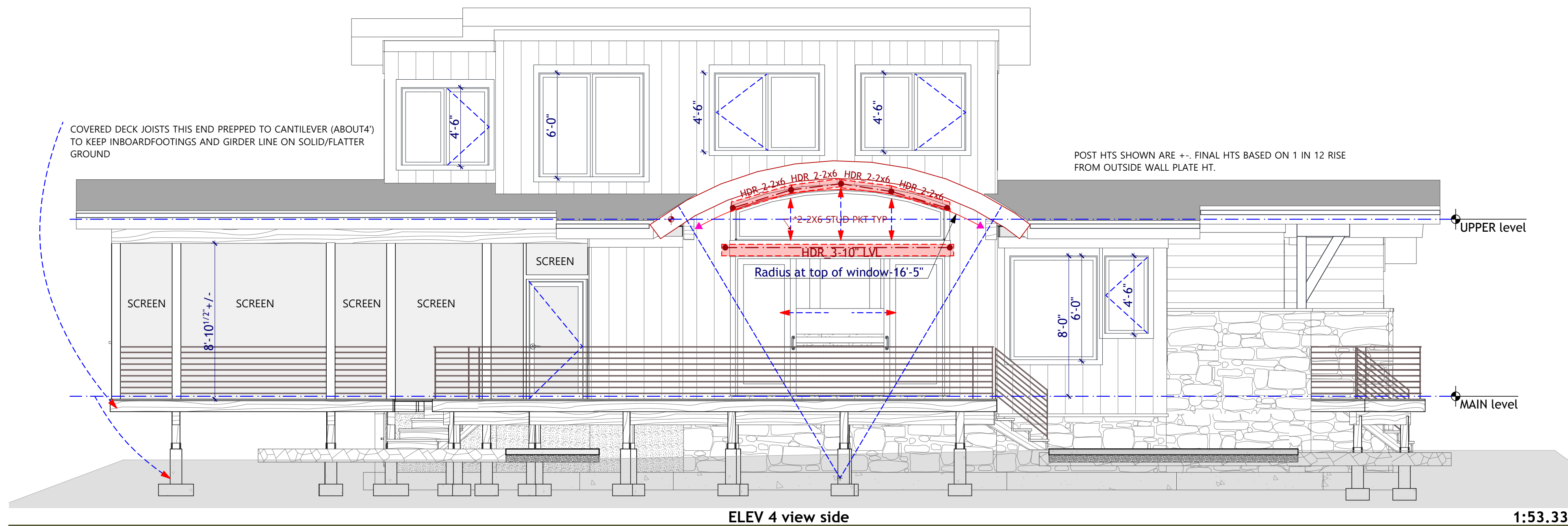
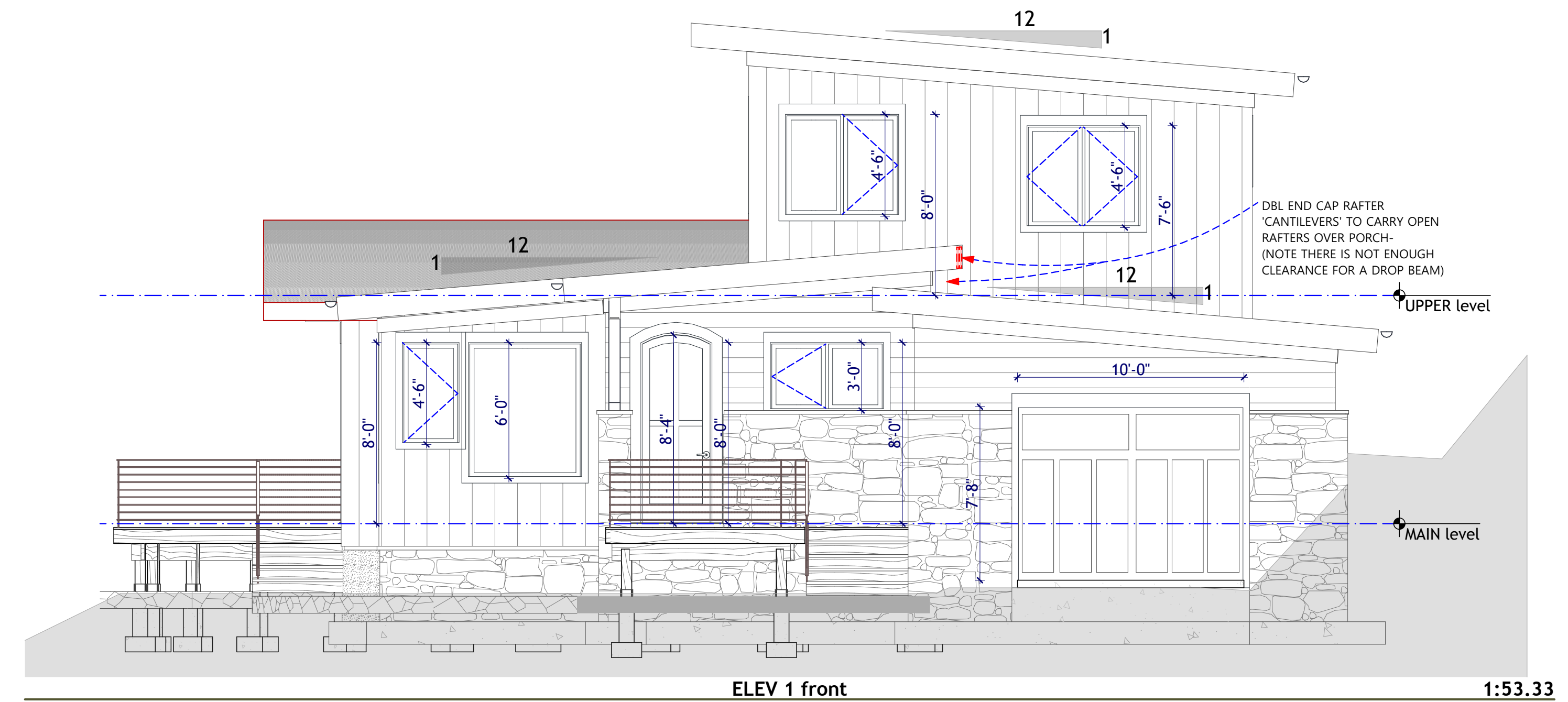
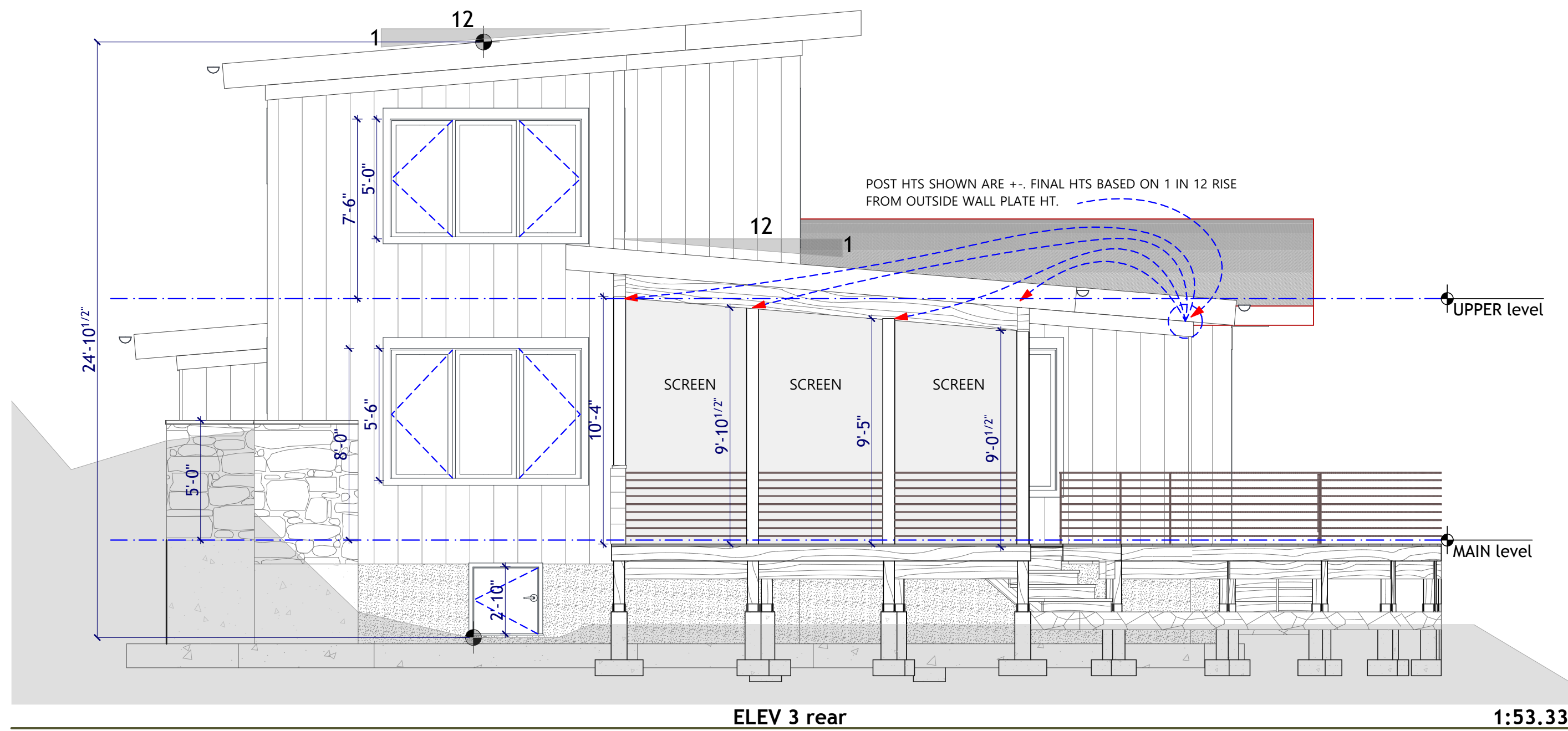
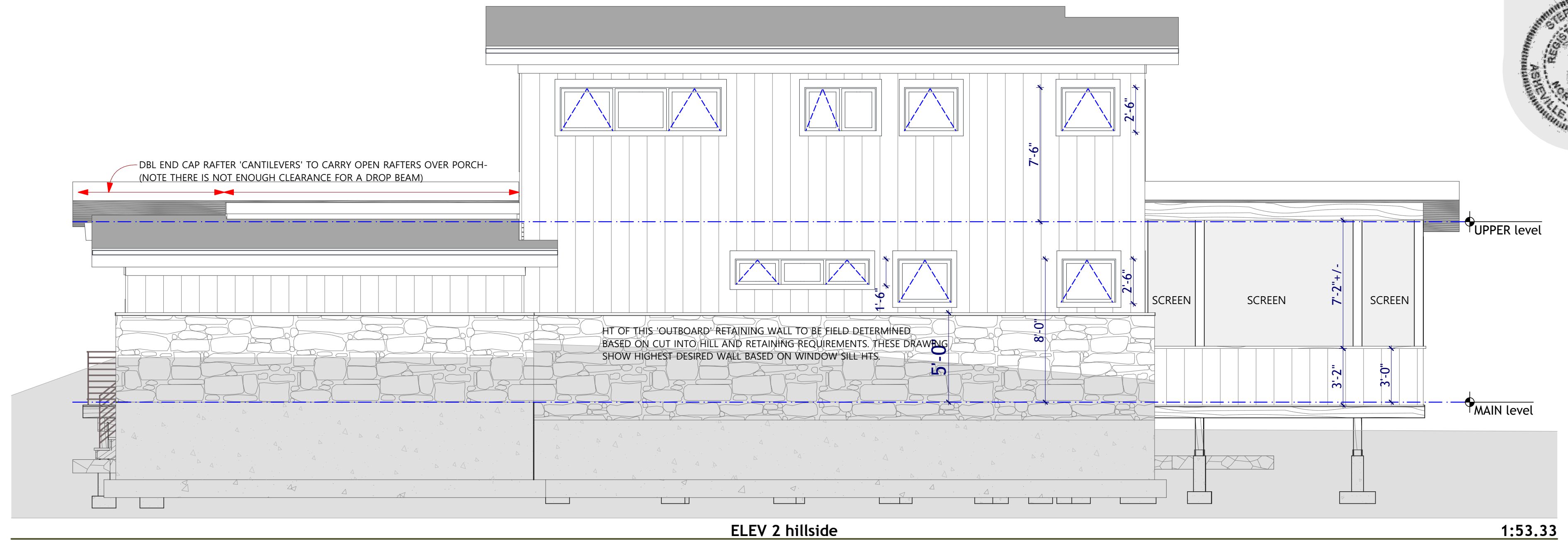
1/4" = 1'-0"



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EXTERIOR 3d elev 1+4



EXTERIOR 3d elev 2+3

**Construction Notes:** These elevation drawings are mostly graphic - Find appropriate construction notes on the construction floor plans.  
**2D Scale Note:** Elevations and building sections have been sized down 10% to fit on sheets. Any dimensions shown are accurate but do not scale.

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Off State Rt 63 Madison Co

1. 6/09/2021 BUDGET SET  
2. 11/21/2021 PERMIT SET  
3. X.X.X  
4. X.X.X  
5. X.X.X

DRAWINGS THIS SHEET:  
ELEVATIONS

C.10



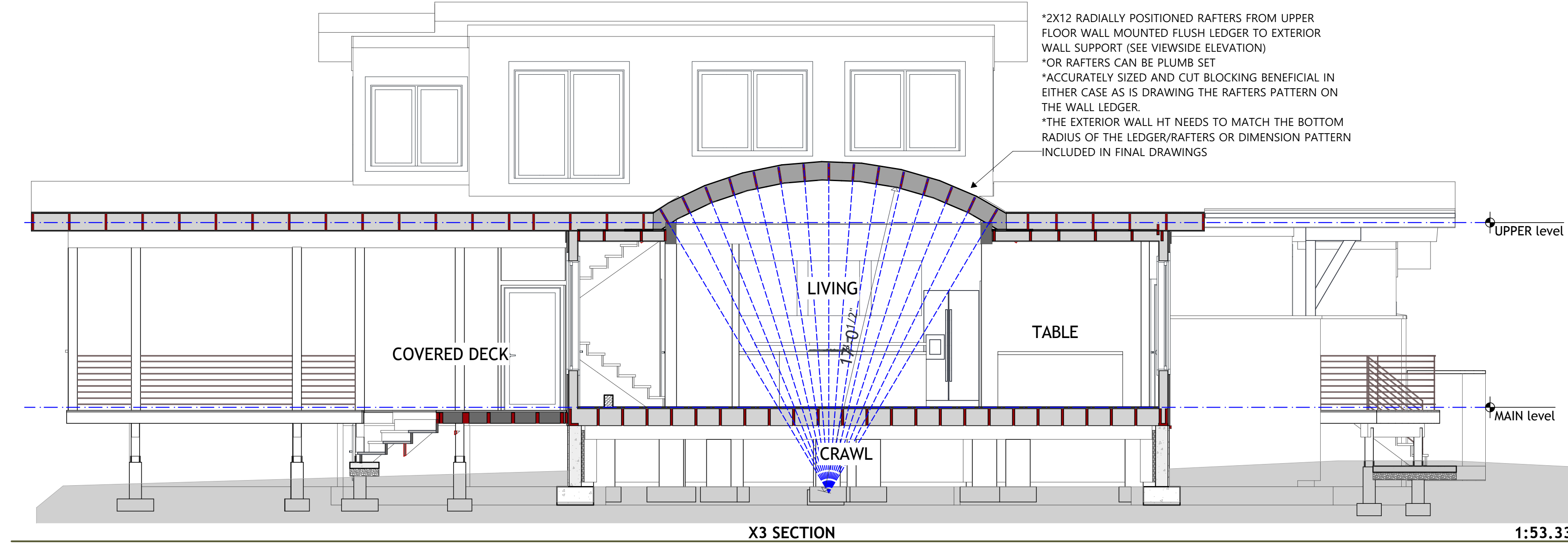
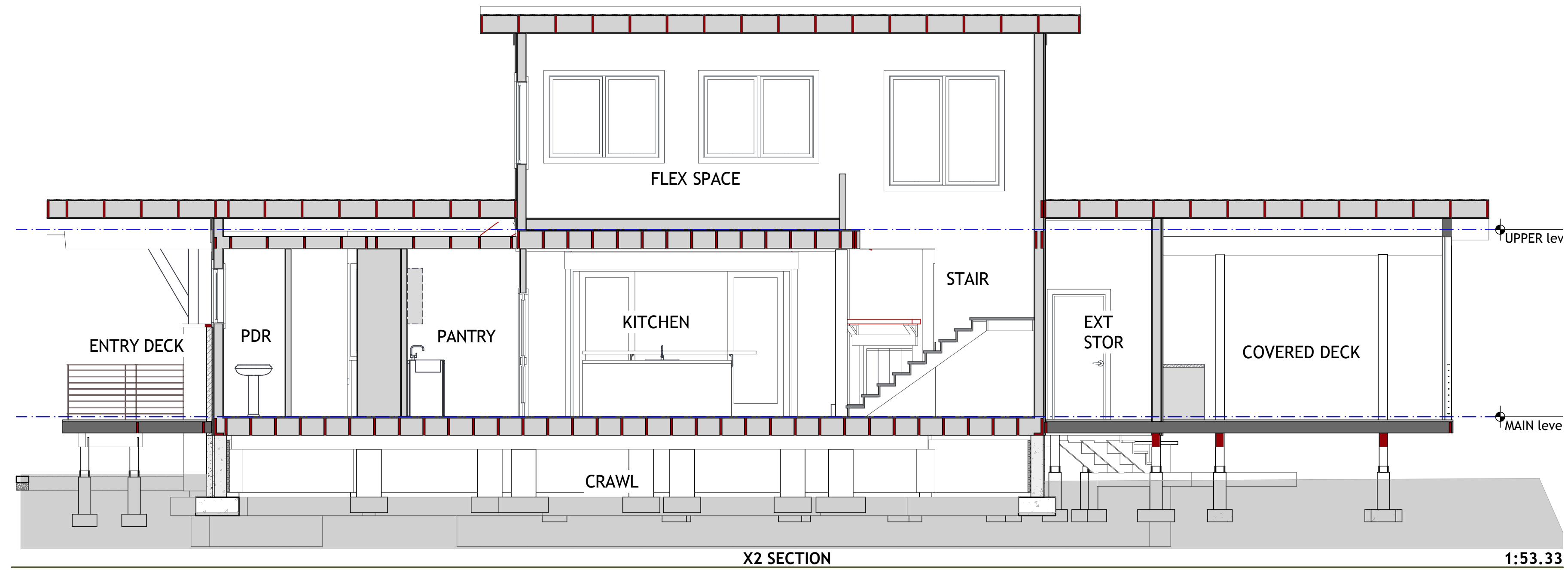
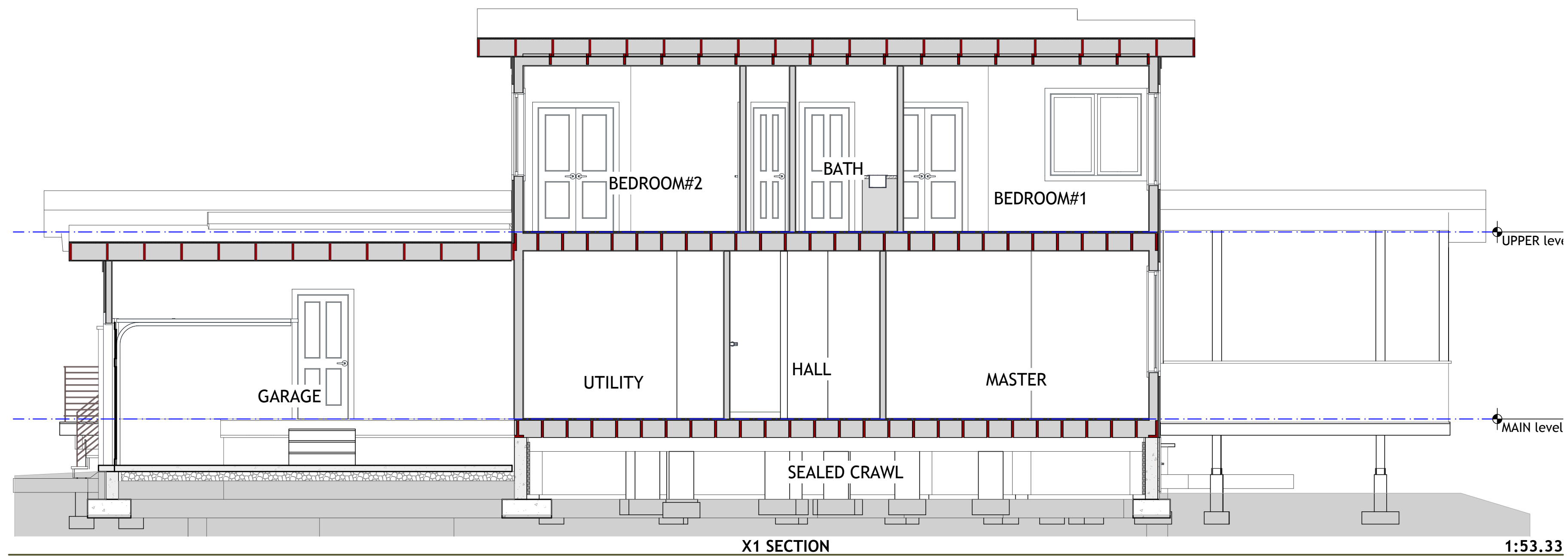
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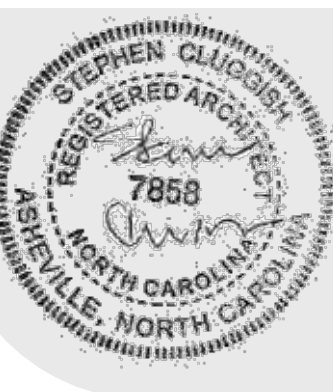
1. 6/09/2021 BUDGET SET  
2. 11/27/2021 PERMIT SET  
3. X.X.X  
4. X.X.X  
5. X.X.X

**DRAWINGS THIS SHEET:**  
BUILDING SECTIONS X1, X2, X3

**C.11**



**Construction Notes:** These section drawings are graphic only-Find notes on the construction floor plans.  
**2D Scale Note:** Elevations and building sections have been sized down 10% to fit on sheets. Any dimensions shown are accurate but do not scale.

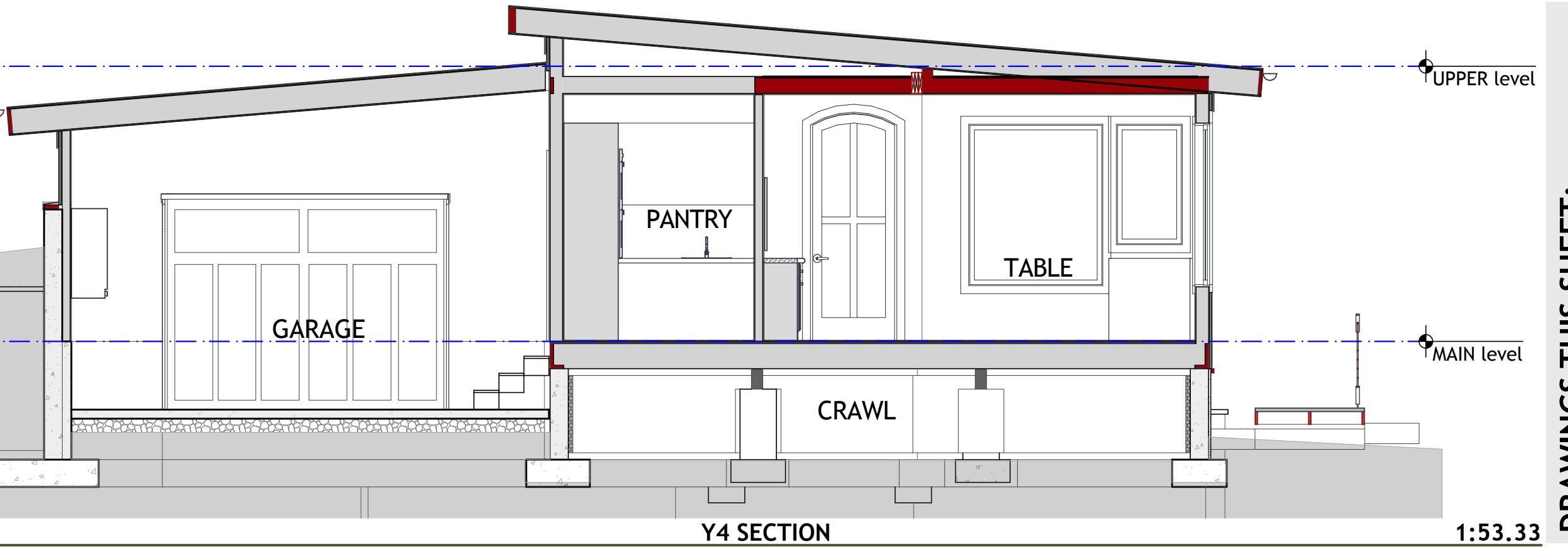
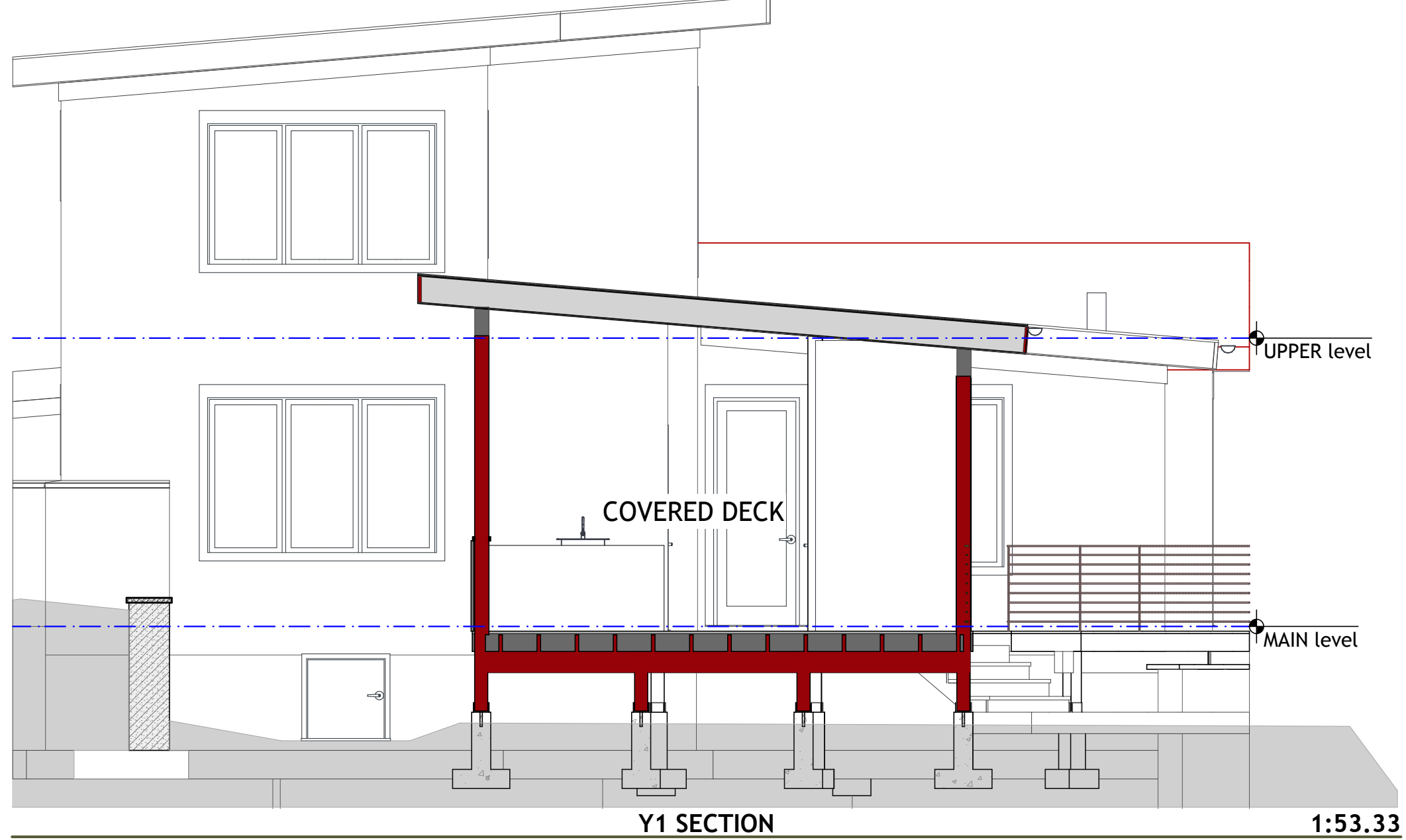
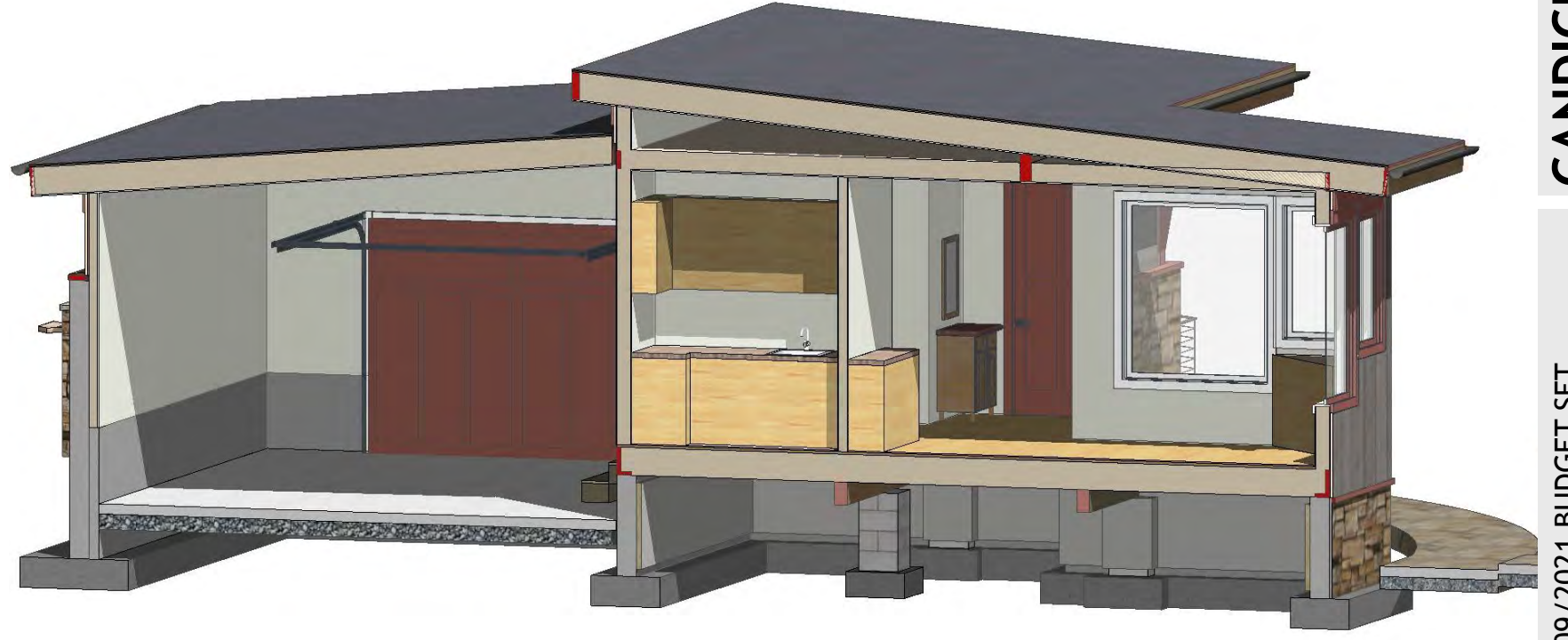
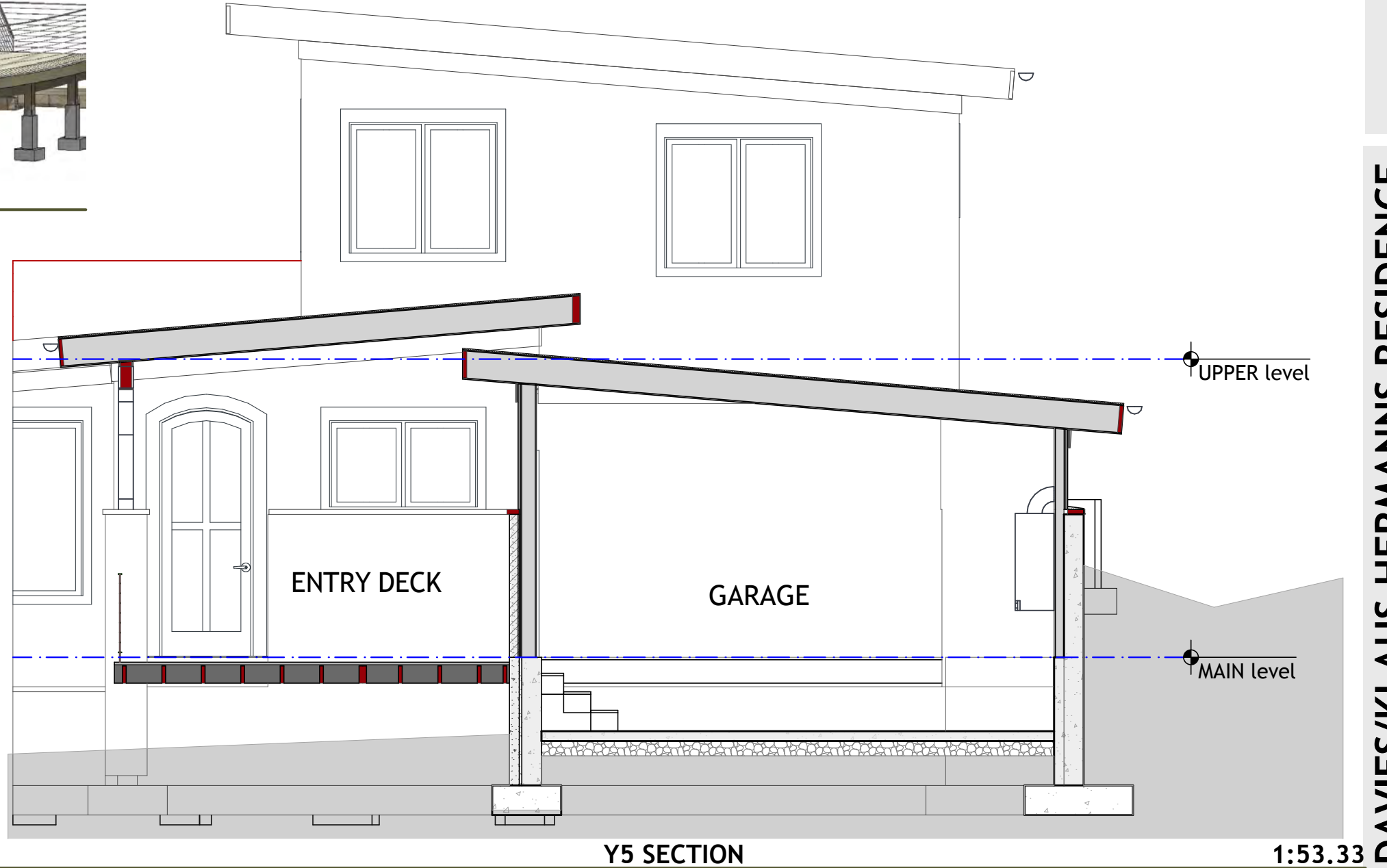
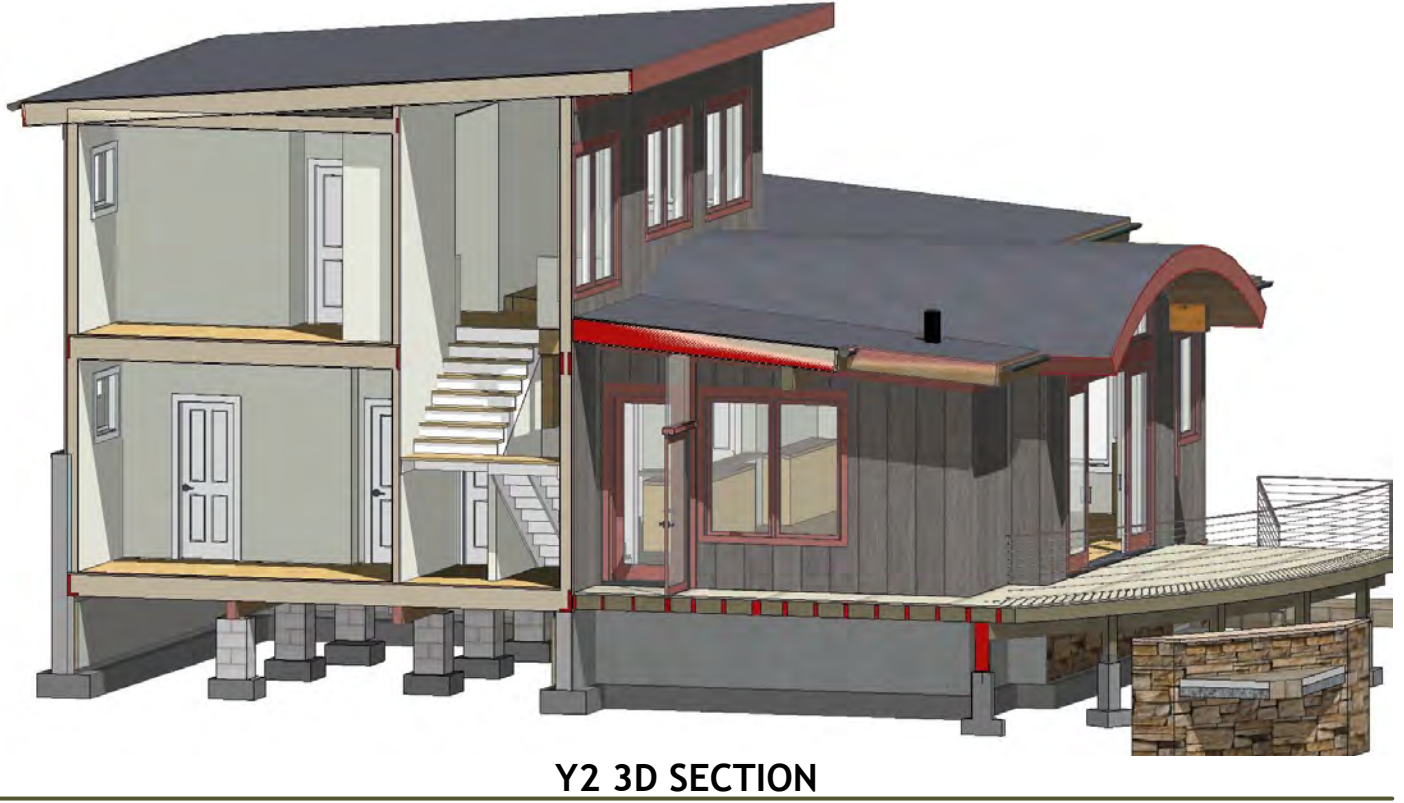
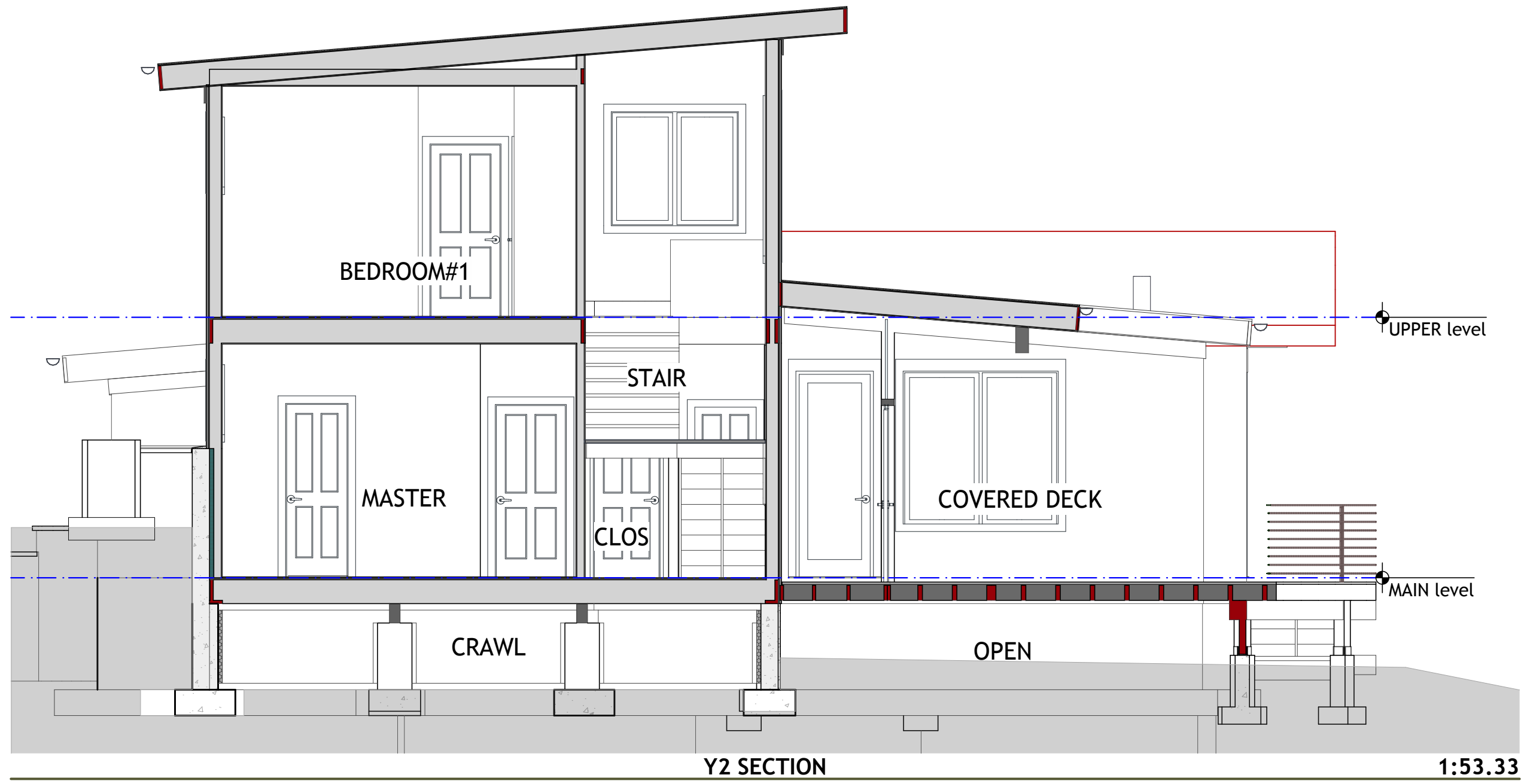
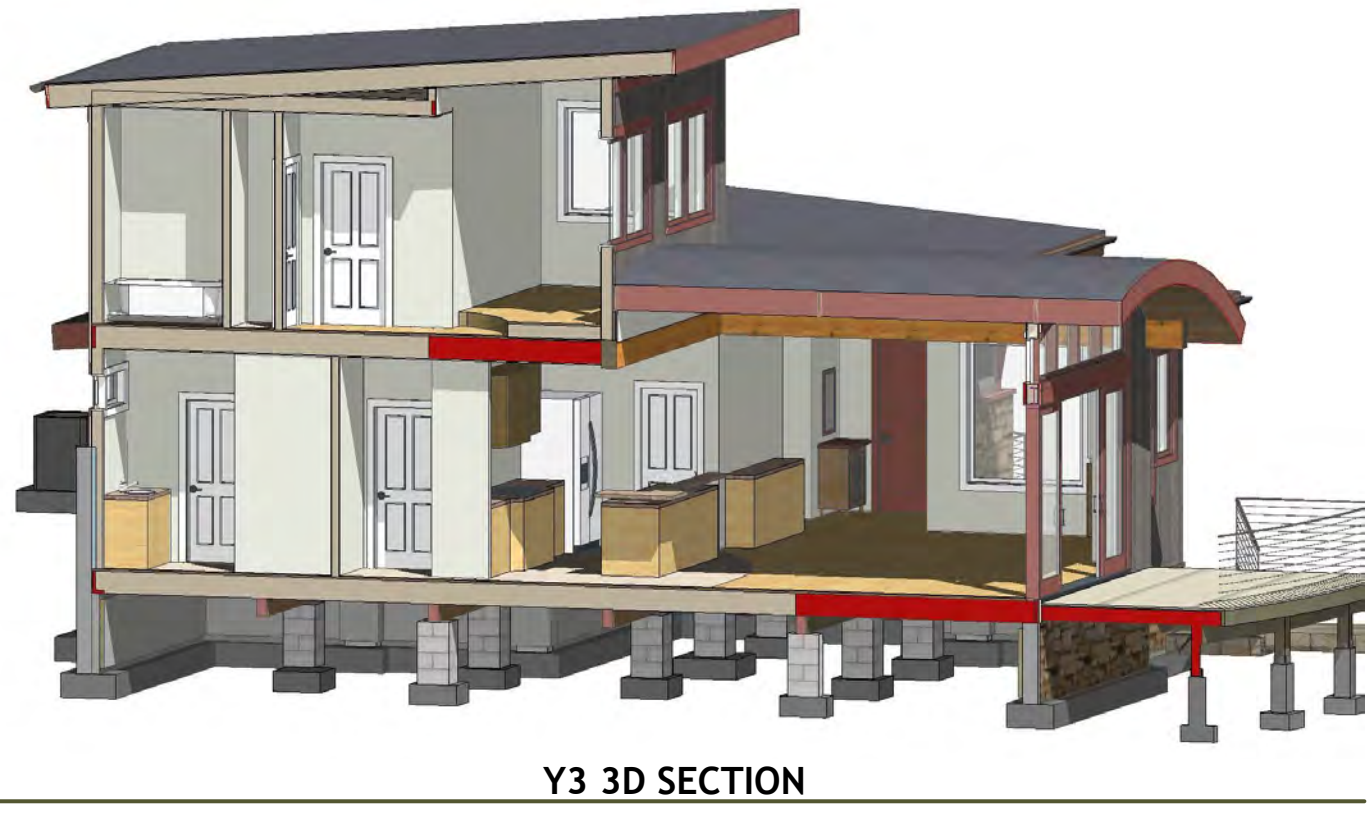
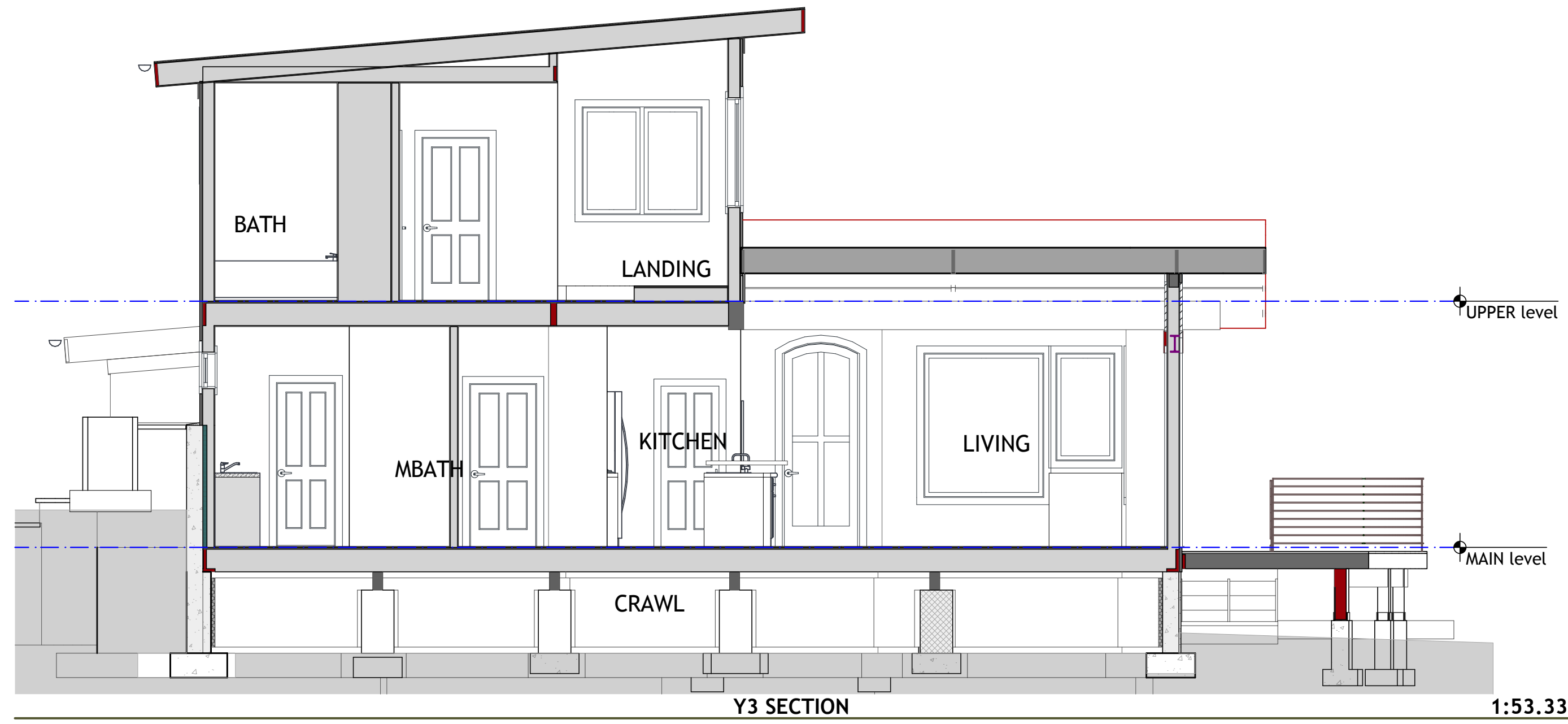


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BUDGET SET  
PERMIT SET  
1. 6/09/2021  
2. 11/27/2021  
3. x.x.x  
4. x.x.x  
5. x.x.x

**DRAWINGS THIS SHEET:**  
BUILDING SECTIONS Y1, Y2, Y3, Y4, Y5



**Construction Notes:** These section drawings are graphic only-Find notes on the construction floor plans.  
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1. 6/09/2021 BUDGET SET  
2. 11/2/2021 PERMIT SET  
3. X.X.X  
4. X.X.X  
5. X.X.X

DRAWINGS THIS SHEET:  
WALL SECTIONS WS1, WS2

C.13

